



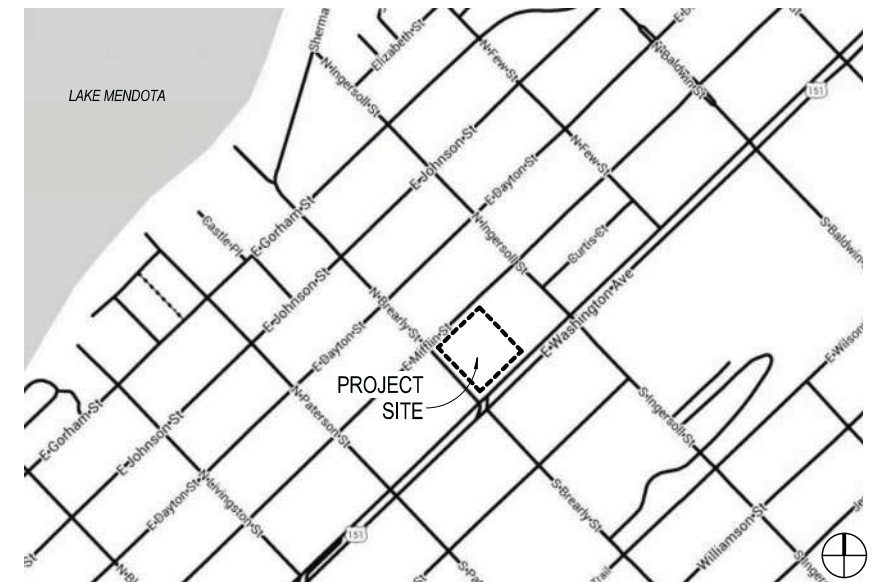
THE 15 SHEETS THAT ARE BOXED OUT IN RED HAVE BEEN ALTERED FROM THE ORIGINAL LAND USE APPLICATION AND ARE FOR UDC REVIEW ONLY.

SHEET INDEX - LAND USE APPLICATION

- G01 COVER & PROJECT STATISTICS
- G02 SITE LOCATION
- G03 PRELIMINARY LIFE SAFETY PLAN
- G04 PRELIMINARY LIFE SAFETY PLAN
- C100 EXISTING CONDITIONS
- C200 DEMOLITION PLAN
- C300 SITE PLAN
- C400 EROSION CONTROL PLAN
- C500 GRADING PLAN
- C600 UTILITY PLAN
- C700 CONSTRUCTION NOTES
- L-1 LANDSCAPE PLAN
- L-2 LEVEL 03 ROOF TERRACE LANDSCAPE PLAN
- L-3 LEVEL 11 ROOF TERRACE LANDSCAPE PLAN
- A00 EXISTING SITE PHOTOS
- A01 EXISTING SITE PHOTOS
- A02 BUILDING SETBACKS
- A03 LEVEL 01 & LEVEL N-01 FLOOR PLAN
- A04 LEVEL N-02 & LEVEL P-02 FLOOR PLAN
- A05 LEVEL 02, LEVEL N-03, & LEVEL P-03 FLOOR PLAN
- A06 LEVEL 03 & LEVEL N-04 FLOOR PLAN
- A07 LEVELS 04 - 10 FLOOR PLAN
- A08 LEVEL 11 FLOOR PLAN
- A09 UNIT FLOOR PLANS
- A10 UNIT FLOOR PLANS
- A11 UNIT FLOOR PLANS
- A12 UNIT FLOOR PLANS
- A13 UNIT FLOOR PLANS
- A14 BUILDING ELEVATIONS
- A15 BUILDING ELEVATIONS
- A16 BUILDING ELEVATIONS
- A17 PERSPECTIVES
- A18 PERSPECTIVES
- A19 PERSPECTIVES
- A20 PERSPECTIVES
- A21 SUN STUDY
- E01 LEVEL 01 PHOTOMETRIC PLAN AREA A
- E02 LEVEL 01 PHOTOMETRIC PLAN AREA B
- E03 LEVEL 01 PHOTOMETRIC PLAN AREA C
- E04 LEVEL 01 PHOTOMETRIC PLAN AREA D
- E05 LEVEL 03 PHOTOMETRIC PLAN
- E06 LEVEL 11 PHOTOMETRIC PLAN

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON
MADISON, WI 53703



This site is in Urban Design District 8, and its design incorporates the principles defined for this district. This site is currently zoned TE Traditional Employment. This project is seeking a Conditional Use under this zoning designation and is creating a project that complies with the current zoning

PROJECT STATISTICS

LOCAL ZONING: TE - TRADITIONAL EMPLOYMENT DISTRICT

	Office		Maker Space	Retail	Car X	Total Retail	Market Rate Apartments		Affordable Apartments		Parking		
	GSF	NSF	NSF	NSF	NSF	GSF	GSF	# OF UNITS	GSF	# OF UNITS	GSF	# Stalls	# Bicycle
LEVEL 01								0			42,805	103	134
LEVEL 02	26,442	23,385											
LEVEL 03	30,009	27,242											
LEVEL 04							19,238	20					
LEVEL 05							19,238	20					
LEVEL 06							19,238	20					
LEVEL 07							19,238	20					
LEVEL 08							19,238	20					
LEVEL 09							19,092	20					
LEVEL 10							19,092	20					
LEVEL 11							5,790	0					
LEVEL N-01									14,796	14			
LEVEL N-02									13,376	6			
LEVEL N-03									14,683	15			
LEVEL N-04									26,907	30			
LEVEL P-02											44,468	133	61
LEVEL P-03											45,245	126	38
TOTALS	56,451	50,627	5,876	10,529	3,878	22,898	143,125	140	69,762	65	132,518	362	233

PARKING REQUIREMENT	1 / 400 SF	1 / 400 SF	1 / 400 SF	1 / 400 SF			APTS 1 PER UNIT	TOWNHOMES 1.5 PER UNIT	APTS 1 PER UNIT				
MINIMUM REQUIRED AUTO PARKING	127	15	26	10			140	14	56				
10% REDUCTION	-13	-2	-3	-1			N/A	N/A	N/A				
REDUCTION DUE TO EXCESS BICYCLE PARKING	-7	0	0	0			0	0	0				
REDUCED MINIMUM REQUIRED AUTO PARKING	107	13	24	9			140	14	56		TOTAL REQ.	362	

BICYCLE PARKING REQUIREMENT	1 / 2000 SF	1 / 2000 SF	1 / 2000 SF	1 / 2000 SF			1 PER UNIT	1 PER UNIT	1 PER UNIT				
GUEST BICYCLE PARKING REQUIREMENT	N/A	N/A	N/A	N/A			1 / 10 UNITS	1 / 10 UNITS	1 / 10 UNITS				
TOTAL REQUIRED BICYCLE PARKING	25	3	5	2			154	10	62		TOTAL REQ'D:	261	
% OF REQUIRED PARKING AS LONG-TERM	10%	10%	10%	10%			90%	90%	90%				
LONG-TERM (INDOOR) REQUIRED...	2.5	0.3	0.5	0.2			138.6	8.9	55.4		TOTAL INDOOR REQ'D:	206	
SHORT TERM (OUTDOOR) REQUIRED PARKING	22.8	2.6	4.7	1.7			15.4	1.0	6.2		TOTAL OUTDOOR REQ'D:	54	
											TOTAL OUTDOOR PROV.:	76	

SITE AREA	108,730	TOTAL PROJECT GSF	424,755	TOTAL AFFORDABLE UNITS	65
SITE ACREAGE	2.50			TOTAL MARKET RATE UNITS	140

Lot Coverage and Useable Open Space Calculations

Traditional Employment District has an 85% lot coverage maximum
 Size of Lot: 108,730 sf
 Building Footprint: 83,460 sf
 Pervious area at grade: 10,870 sf
 Planted area at plaza level: 10,950 sf
 Planted area at rooftop level: 675 sf
 Lot Coverage Max allowed: 92,420 sf
 Lot Coverage provided: 86,235 sf



eppstein uhen : architects

LAND USE APPLICATION UDC REVIEW

12/2/2015

PROJECT NUMBER: 14339-01



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
telephone 414.271.5350
madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
telephone 608.442.5350

PROJECT INFORMATION

**STONE HOUSE
MIXED USE EAST
WASHINGTON**

1000 E.
WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION
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SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

SITE LOCATION

G02





appstein uhen : architects

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Madison, Wisconsin 53703
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PROJECT INFORMATION

STONE HOUSE
MIXED USE EAST
WASHINGTON

1000 E.
WASHINGTON
MADISON, WI 53703

FIRE RESISTIVE LEGEND

- FIRE WALLS**
3FW 3FW 3FW 3FW 3FW 3FW 3 HOUR FIRE WALL
- FIRE BARRIERS**
2FB 2FB 2FB 2FB 2FB 2FB 2 HOUR FIRE BARRIER
1FB 1FB 1FB 1FB 1FB 1FB 1 HOUR FIRE BARRIER
- SHAFT ENCLOSURES**
2SE 2SE 2SE 2SE 2SE 2SE 2 HOUR SHAFT ENCLOSURE
1SE 1SE 1SE 1SE 1SE 1SE 1 HOUR SHAFT ENCLOSURE
- FIRE PARTITIONS**
1FP 1FP 1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION
0.5FP0.5FP0.5FP0.5FP0.5FP0.5FP 0.5 HOUR FIRE PARTITION

MEANS OF EGRESS

- FROM ROOM OR LEVEL
X = CLEAR WIDTH OF OPENING IN INCHES
- EXIT DISCHARGE
X = CLEAR WIDTH OF OPENING IN INCHES
- HORIZONTAL 1-WAY
- VERTICAL EXIT ENCLOSURE
- OTHER STAIRWAY

PRELIMINARY PROJECT DATA

OWNER	STONE HOUSE DEVELOPMENT INC.
LOCATION	
MUNICIPALITY:	CITY OF MADISON
COUNTY:	DANE
STATE:	WISCONSIN
ZONING INFORMATION	
LOCAL ZONING:	TE - TRADITIONAL EMPLOYMENT DISTRICT
APPLICABLE BUILDING CODES	
	WISCONSIN COMMERCIAL BUILDING CODE 2009 IBC AS MODIFIED BY CHAPTERS SPS 381-386 SEPTEMBER 1, 2011 NFPA 101 LIFE SAFETY CODE (2009)
CONSTRUCTION CLASSIFICATION	IBC TYPE I-B AND TYPE V-A
OCCUPANCY GROUP	A-2 (AMENITY SPACES) B (BUSINESS & FITNESS AREAS) R-2 (RESIDENTIAL APARTMENTS) S-2 (PARKING GARAGE)
PROJECT TYPE	NEW CONSTRUCTION
NUMBER OF STORIES	11 (TYPE I-B MIXED USE), 4 (TYPE V-A APARTMENTS)
BLDG GROSS AREA (SQ FT)	409,200 (TYPE I-B MIXED USE), 58,000 (TYPE V-A APARTMENTS)
FIRE PROTECTION	
FIRE ALARM	COMPLETE
FIRE SUPPRESSION:	COMPLETE
MONITORING TYPE	CENTRAL STATION
NFPA STANDARD USED	13
FIRE RESISTIVE RATINGS	
STAIR ENCLOSURES	2 HOUR
ELEVATOR ENCLOSURES	2 HOUR
SHAFT ENCLOSURES	2 HOUR
FLOORS	TYPE I-B: 1 HOUR (IBC SECTION 403.2.1.1, EXCEPTION 2) TYPE V-A: 1 HOUR
ROOFS	TYPE I-B: 1 HOUR (IBC SECTION 403.2.1.1, EXCEPTION 2) TYPE V-A: 1 HOUR
EXTERIOR WALLS	TYPE I-B: 1 HOUR (IBC SECTION 403.2.1.1, EXCEPTION 2) TYPE V-A: 1 HOUR
LOWER LEVEL STORAGE SPACES	N/A
ELEVATOR EQUIPMENT ROOMS	1 HOUR
SPRAY FIREPROOFING REQUIREMENTS	
COLUMNS - HSS, <1> HOUR	<X771>
COLUMNS - WIDE FLANGE, <1> HOUR	<X772>
BEAMS - FLOOR, <1> HOUR	<D825>
FLOOR DECK, <1> HOUR	
MAXIMUM TRAVEL DISTANCES	
R-2, A-2 & S-2	250 FEET
B	300 FEET
COMMON PATH OF EGRESS	
B & S-2	100 FEET
R-2	125 FEET
A-2	75 FEET

ISSUANCE AND REVISIONS

LAND USE APPLICATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

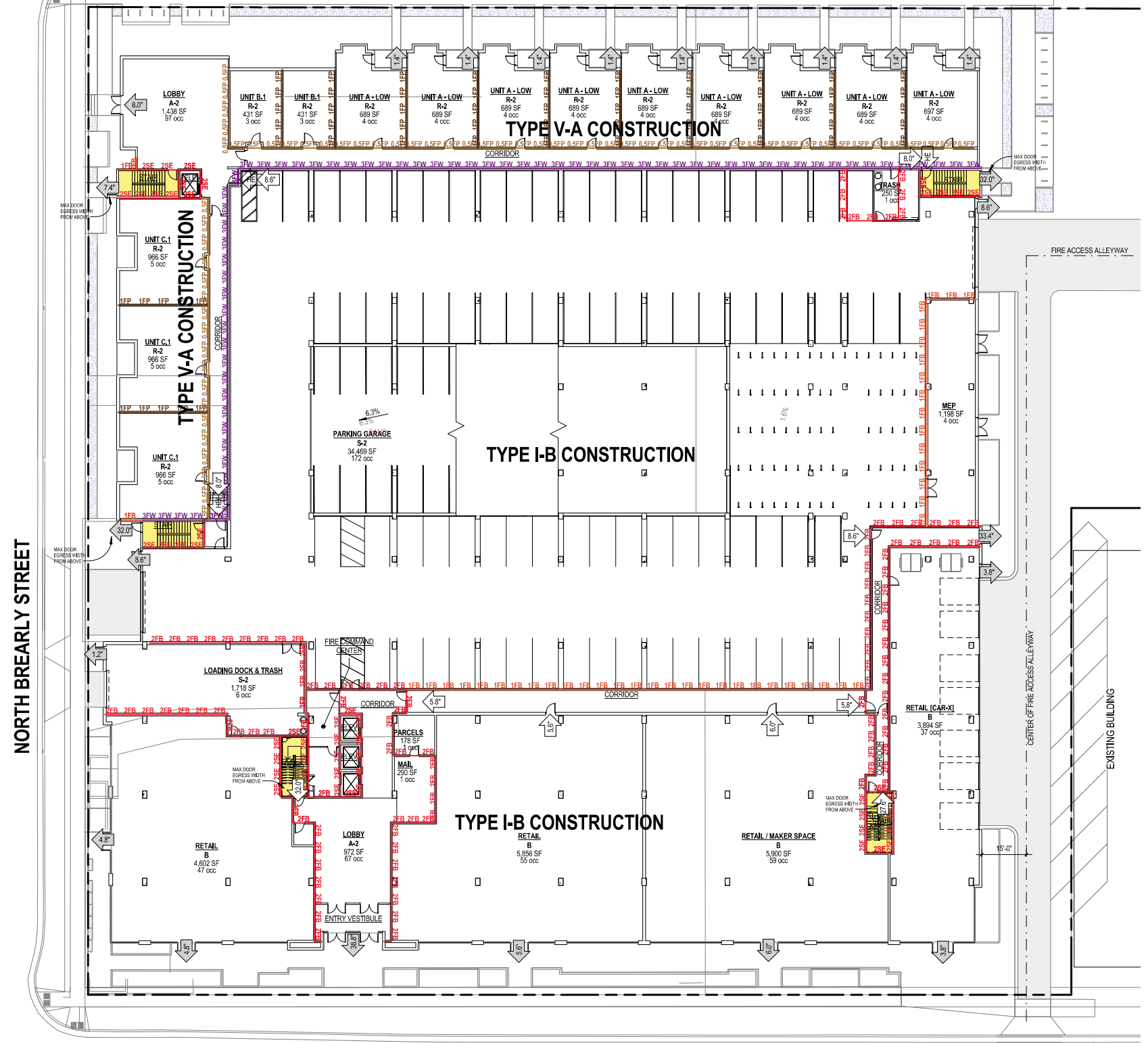
DATE 10/21/2015

PRELIMINARY LIFE
SAFETY PLAN

G03

1 2 3 4 5 6

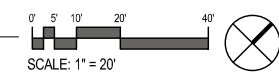
EAST MIFFLIN STREET



NORTH BREARLY STREET

EAST WASHINGTON AVENUE

1 FIRST FLOOR
1" = 20'-0"



1 2 3 4 5 6



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PROJECT INFORMATION

**STONE HOUSE
MIXED USE EAST
WASHINGTON**

1000 E.
WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

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PROJECT NUMBER 14339-01

DATE 10/21/2015

PRELIMINARY LIFE
SAFETY PLAN

G04

FIRE RESISTIVE LEGEND

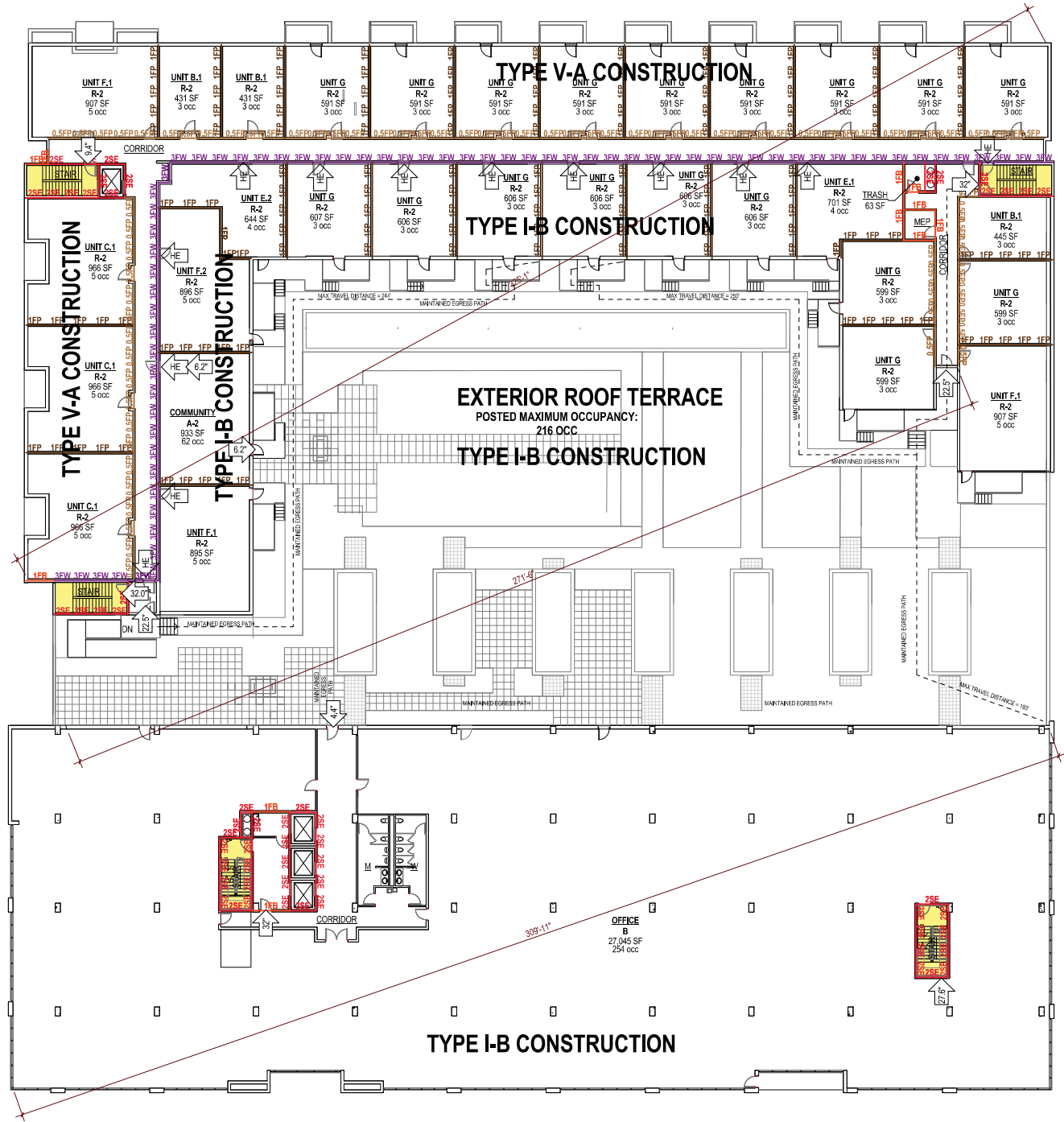
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- FIRE BARRIERS**
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MEANS OF EGRESS

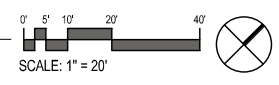
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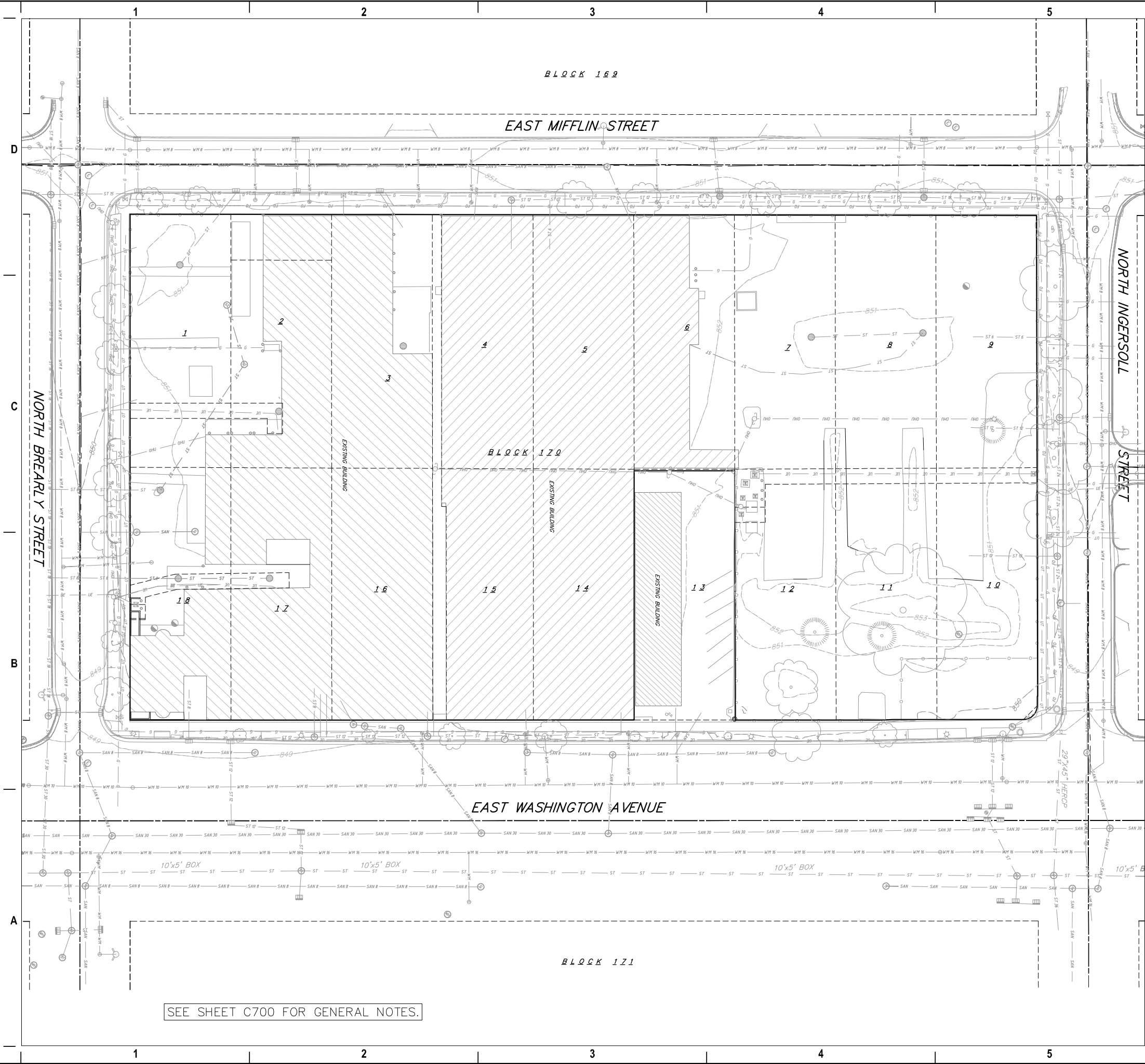
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FIRE ALARM	COMPLETE
FIRE SUPPRESSION:	COMPLETE
MONITORING TYPE	CENTRAL STATION
NFPA STANDARD USED	13
FIRE RESISTIVE RATINGS	
STAIR ENCLOSURES	2 HOUR
ELEVATOR ENCLOSURES	2 HOUR
SHAFT ENCLOSURES	2 HOUR
FLOORS	TYPE I-B: 1 HOUR [IBC SECTION 403.2.1.1, EXCEPTION 2], TYPE V-A: 1 HOUR
ROOFS	TYPE I-B: 1 HOUR [IBC SECTION 403.2.1.1, EXCEPTION 2], TYPE V-A: 1 HOUR
EXTERIOR WALLS	TYPE I-B: 1 HOUR [IBC SECTION 403.2.1.1, EXCEPTION 2], TYPE V-A: 1 HOUR
LOWER LEVEL STORAGE SPACES	N/A
ELEVATOR EQUIPMENT ROOMS	1 HOUR
SPRAY FIREPROOFING REQUIREMENTS	
COLUMNS - HSS, <1> HOUR	<X771>
COLUMNS - WIDE FLANGE, <1> HOUR	<X772>
BEAMS - FLOOR, <1> HOUR	<D925>
FLOOR DECK - <1> HOUR	<D925>
MAXIMUM TRAVEL DISTANCES	
R-2, A-2 & S-2	250 FEET
B	300 FEET
COMMON PATH OF EGRESS	
B & S-2	100 FEET
R-2	125 FEET
A-2	75 FEET



3 THIRD FLOOR & FOURTH FLOOR NORTH
1" = 20'-0"





SEE SHEET C700 FOR GENERAL NOTES.



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PROJECT INFORMATION

STONE HOUSE
 MIXED USE EAST
 WASHINGTON

1000 E.
 WASHINGTON
 MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

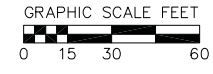
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PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	10/21/2015

EXISTING CONDITIONS

C100



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⊙ EXISTING FLAG POLE
- Ⓜ EXISTING MAILBOX
- ⊕ EXISTING MONITORING WELL
- ⊙ EXISTING BORING
- Ⓜ EXISTING POST
- Ⓜ EXISTING SIGN (TYPE NOTED)
- Ⓜ EXISTING CURB INLET
- Ⓜ EXISTING ENDWALL
- ⊙ EXISTING FIELD INLET
- Ⓜ EXISTING ROOF DRAIN CLEANOUT
- ⊕ EXISTING STORM MANHOLE
- Ⓜ EXISTING SANITARY CLEANOUT
- ⊕ EXISTING SANITARY MANHOLE
- Ⓜ EXISTING SEPTIC VENT
- Ⓜ EXISTING FIRE HYDRANT
- Ⓜ EXISTING STANDPIPE
- ⊕ EXISTING WATER MAIN VALVE
- Ⓜ EXISTING CURB STOP
- ⊕ EXISTING WELL
- ⊕ EXISTING WATER MANHOLE
- Ⓜ EXISTING GAS VALVE
- Ⓜ EXISTING AIR CONDITIONING PEDESTAL
- Ⓜ EXISTING DOWN GUY
- ⊕ EXISTING ELECTRIC MANHOLE
- Ⓜ EXISTING ELECTRIC PEDESTAL
- Ⓜ EXISTING TRANSFORMER
- Ⓜ EXISTING GUY POLE
- Ⓜ EXISTING LIGHT POLE
- Ⓜ EXISTING GENERIC LIGHT
- Ⓜ EXISTING UTILITY POLE
- Ⓜ EXISTING TV PEDESTAL
- ⊕ EXISTING TELEPHONE MANHOLE
- Ⓜ EXISTING TELEPHONE PEDESTAL
- ⊕ EXISTING UNIDENTIFIED MANHOLE
- ⊕ EXISTING TRAFFIC SIGNAL
- Ⓜ EXISTING SHRUB
- ⊕ EXISTING CONIFEROUS TREE
- ⊕ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- OHTV — EXISTING OVERHEAD CABLE TV
- FO — EXISTING FIBER OPTIC LINE
- OHT — EXISTING OVERHEAD TELEPHONE LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- CLF — EXISTING CHAIN LINK FENCE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- GUY — EXISTING GUY LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- OGU — EXISTING OVERHEAD GENERAL UTILITIES
- FM — EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — EXISTING WATER MAIN (SIZE NOTED)
- B20 — EXISTING MAJOR CONTOUR
- B18 — EXISTING MINOR CONTOUR

PROJECT INFORMATION

**STONE HOUSE
MIXED USE EAST
WASHINGTON**

**1000 E.
WASHINGTON
MADISON, WI 53703**

ISSUANCE AND REVISIONS

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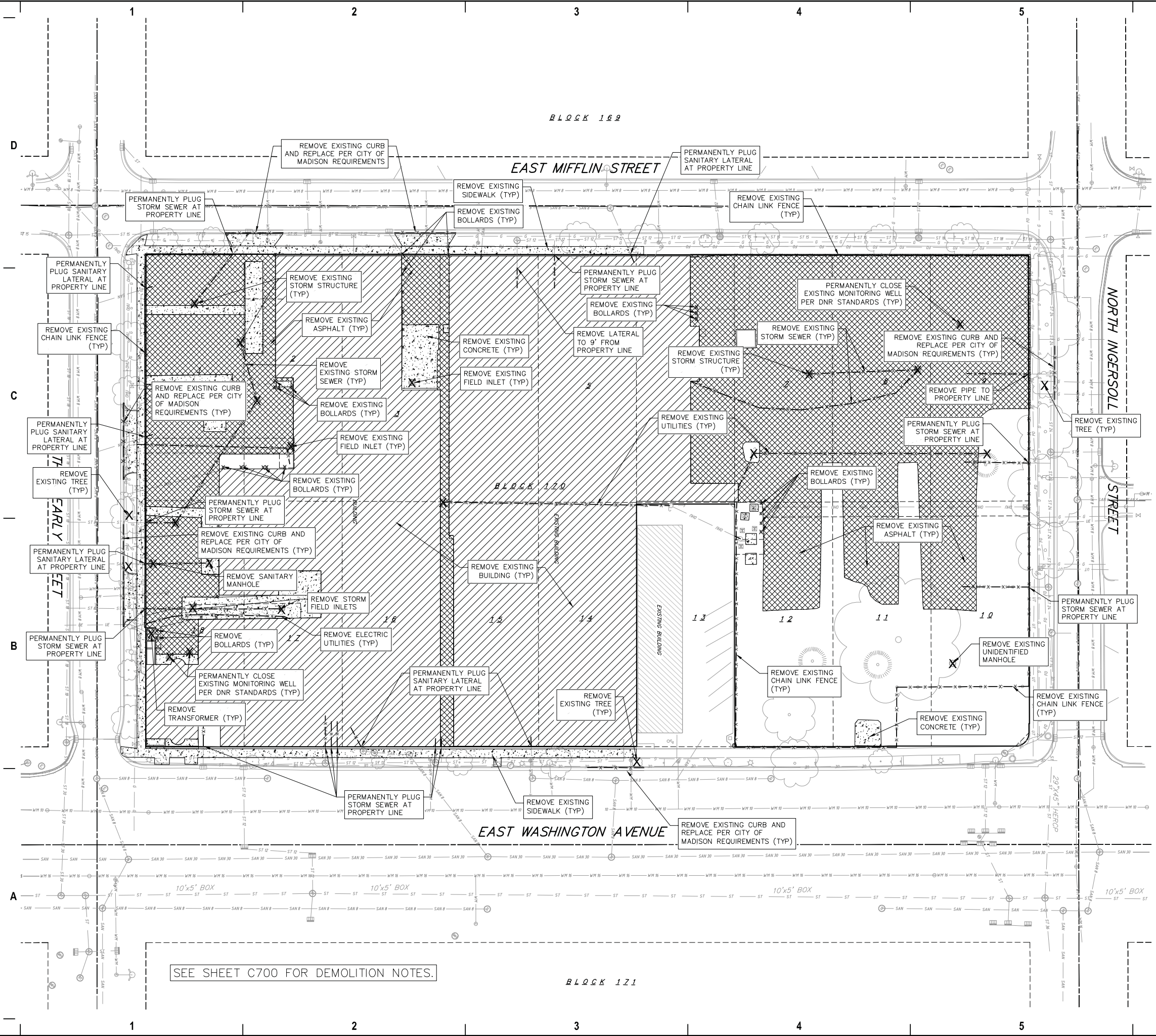
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

DEMOLITION PLAN

C200



SEE SHEET C700 FOR DEMOLITION NOTES.

BLOCK 171

PROJECT INFORMATION

**STONE HOUSE
 MIXED USE EAST
 WASHINGTON**

**1000 E.
 WASHINGTON
 MADISON, WI 53703**

ISSUANCE AND REVISIONS

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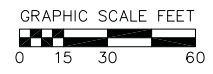
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

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SITE PLAN

C300

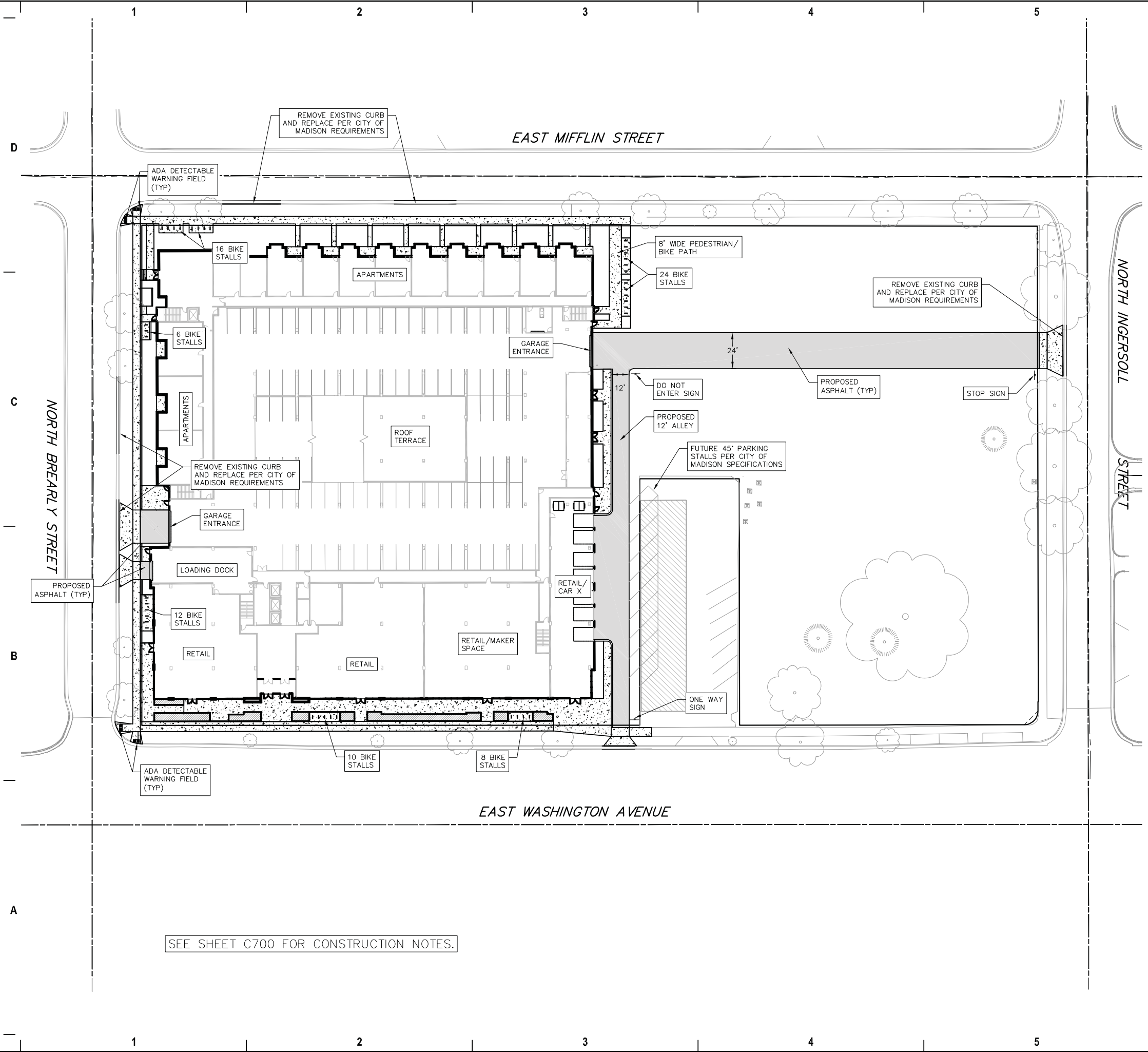


ABBREVIATIONS

TC	- TOP OF CURB
FF	- FINISHED FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
TW	- TOP OF WALL
BW	- BOTTOM OF WALL

SITE PLAN LEGEND

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD



SEE SHEET C700 FOR CONSTRUCTION NOTES.

PROJECT INFORMATION

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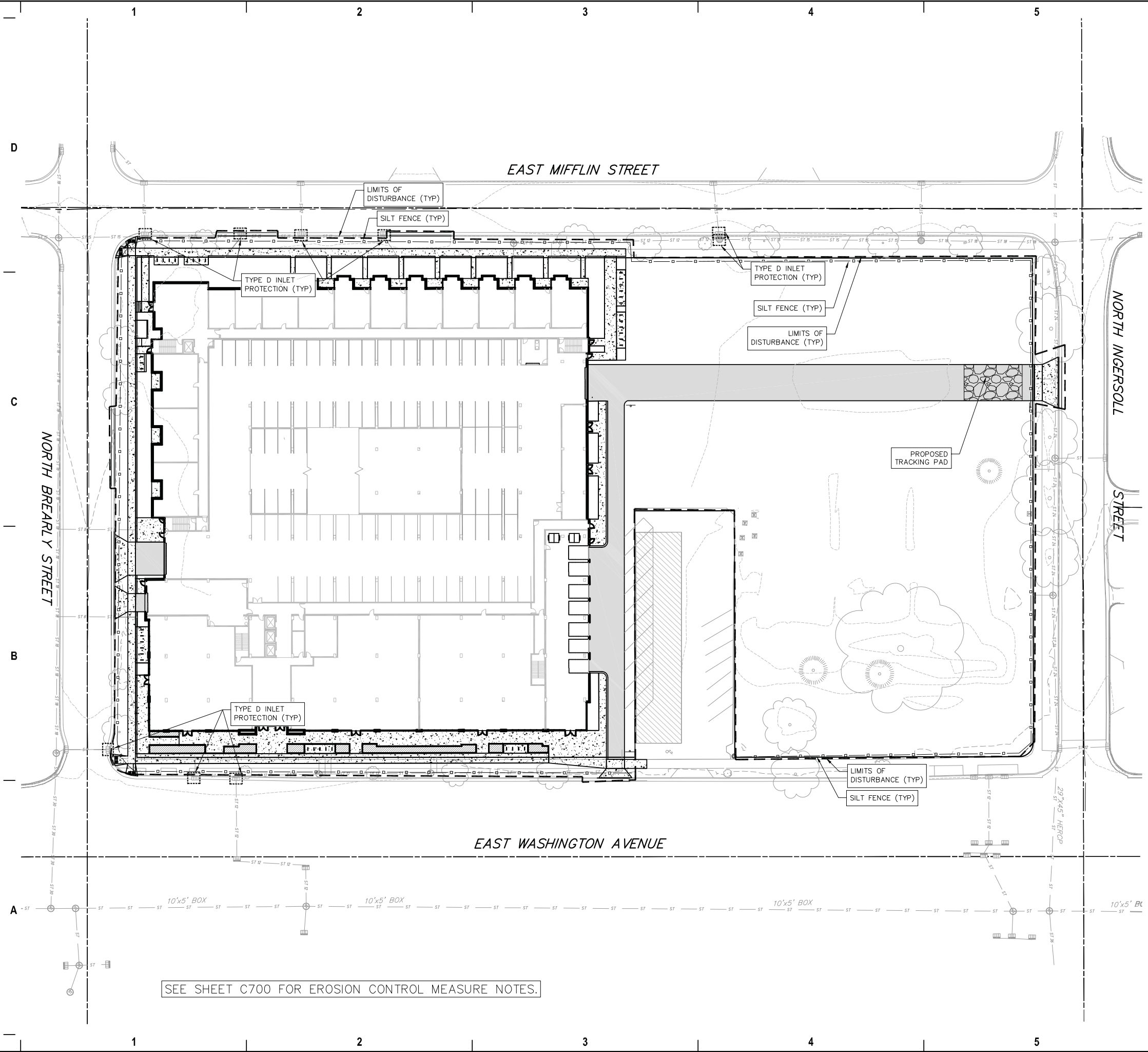
PROJECT MANAGER JP

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**EROSION CONTROL
 PLAN**

C400



SEE SHEET C700 FOR EROSION CONTROL MEASURE NOTES.

PROJECT INFORMATION

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 WASHINGTON**

**1000 E.
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 MADISON, WI 53703**

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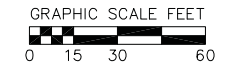
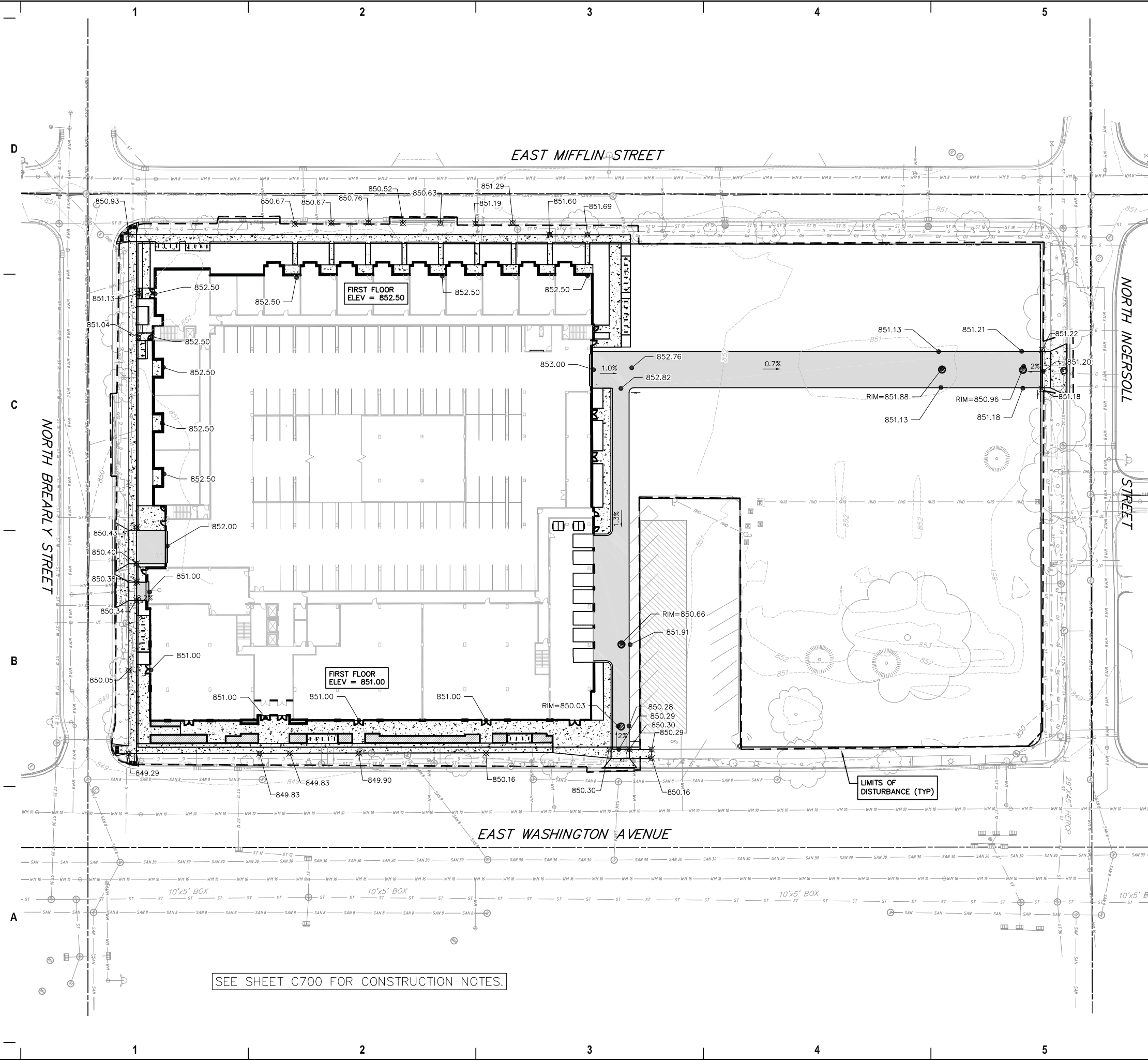
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GRADING PLAN

C500



ABBREVIATIONS

TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

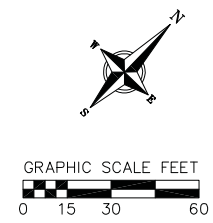
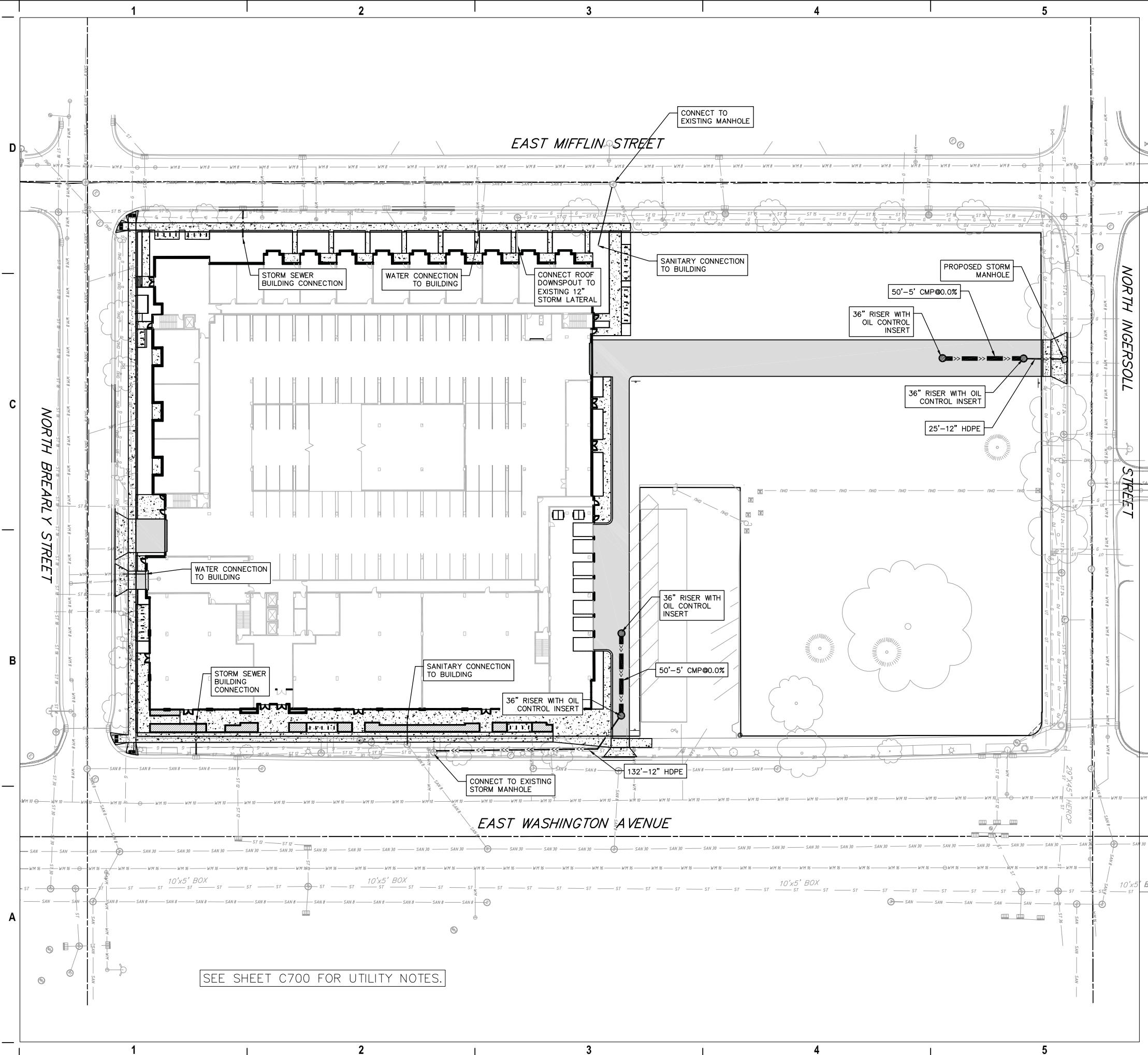
SITE PLAN LEGEND

[Symbol]	PROPERTY BOUNDARY
[Symbol]	CURB AND GUTTER (REVERSE CURB HATCHED)
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA DETECTABLE WARNING FIELD
[Symbol]	PROPOSED HANDICAP PARKING

GRADING LEGEND

[Symbol]	EXISTING MAJOR CONTOURS
[Symbol]	EXISTING MINOR CONTOURS
[Symbol]	DISTURBED LIMITS
[Symbol]	PROPOSED SLOPE ARROWS
[Symbol]	EXISTING SPOT ELEVATIONS
[Symbol]	PROPOSED SPOT ELEVATIONS

SEE SHEET C700 FOR CONSTRUCTION NOTES.



- PROPOSED UTILITY LEGEND**
- > STORM SEWER PIPE
 - > STORM SEWER MANHOLE
 - > STORM SEWER ENDWALL
 - > STORM SEWER CURB INLET
 - > STORM SEWER CURB INLET W/MANHOLE
 - > STORM SEWER FIELD INLET
 - > ROOF DRAIN CLEANOUT
 - > SANITARY SEWER PIPE (GRAVITY)
 - > SANITARY SEWER LATERAL PIPE
 - > SANITARY SEWER MANHOLE
 - > SANITARY SEWER CLEANOUT
 - > WATER MAIN
 - > WATER SERVICE LATERAL PIPE
 - > FIRE HYDRANT
 - > WATER VALVE
 - > CURB STOP
 - > PROPOSED PIPE INSULATION

- ABBREVIATIONS**
- STMH - STORM MANHOLE
 - FI - FIELD INLET
 - CI - CURB INLET
 - CB - CATCH BASIN
 - EW - ENDWALL
 - SMH - SANITARY MANHOLE

PROJECT INFORMATION

**STONE HOUSE
 MIXED USE EAST
 WASHINGTON**

1000 E.
 WASHINGTON
 MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

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PROJECT MANAGER JP
 PROJECT NUMBER 14339-01
 DATE 10/21/2015

UTILITY PLAN

C600

SEE SHEET C700 FOR UTILITY NOTES.

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
- 2. STORM AND SANITARY LATERALS WERE HAND DRAWN BASED ON CITY OF MADISON GIS DATA FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS.
- 3. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- 4. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
- 5. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
- 6. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
- 7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).

SITE CONSTRUCTION NOTES:

- 1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-XX FOR DETAILS.
- 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- 3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
- 4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- 5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- 6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).
- 7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

DEMOLITION PLAN NOTES:

- 1. DEMOLITION ACTIVITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEMOLITION PERMIT, INCLUDING BUT NOT LIMITED TO, THE REUSE AND RECYCLING PLAN.
- 2. PRIOR TO TREE REMOVAL, CONTRACTOR SHALL OBTAIN A CITY OF MADISON TREE REMOVAL PERMIT.
- 3. EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. IF THE SIDEWALK IS REMOVED, TREE PROTECTION FENCING SHALL BE EXTENDED OUT INTO THE SIDEWALK AREA NEAR THE TREES TO PROTECT THE ROOTS THAT EXIST UNDER THE WALK. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (268-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. PRIOR TO CONSTRUCTION ACTIVITIES, TREE PRUNING AND A PRE-CONSTRUCTION MEETING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION -HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF.
- 4. THE SANITARY SEWER LATERALS WILL BE PLUGGED BY THE CONTRACTOR AT THE PROPERTY LINE, AND WILL ALSO BE PLUGGED BY CITY ENGINEERING AT THE SANITARY SEWER MAIN.
- 5. THE CONTRACTOR SHALL NOTIFY CITY ENGINEERING CONSTRUCTION INSPECTOR 266-4514 AT LEAST 24 HOURS IN ADVANCE AND SHALL ALLOW ENTRY ON THE PROPERTY TO INSPECT THE SEWER PLUG.
- 6. THE CONTRACTOR SHALL BACKFILL THE EXCAVATION WITH SUPERVISION OF THE CITY ENGINEER TO ENSURE NO DAMAGE IS DONE TO THE LATERAL PLUG BY THE BACKFILL OPERATION.

EROSION CONTROL MEASURE NOTES:

- 1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- 2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wis.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- 3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING LAND DISTURBING CONSTRUCTION ACTIVITIES.
- 4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- 5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS

REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

- 6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- 7. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- 8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- 9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- 10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- 11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- 12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- 13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED, IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- 14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- 16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- 17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- 18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- 19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- 20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- 21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- 22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
- 23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).

CONSTRUCTION SEQUENCE:

- 1. INSTALL SILT FENCE AND TRACKING PAD.
- 2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- 3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY).
- 4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
- 5. ROUGH GRADE FOR BUILDING PADS AND WALKS.
- 6. CONSTRUCT UNDERGROUND UTILITIES.
- 7. INSTALL INLET PROTECTION ON NEW INLETS.
- 8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
- 9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
- 10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

- TEMPORARY:**
- 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

UTILITY NOTES:

- 1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
- 2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
- 3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
- 4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
- 5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
- 6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- 7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- 8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- 10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- 11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- 12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- 13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
- 14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).
- 16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
- 18. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



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PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION
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SHEET INFORMATION

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PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	10/21/2015

CONSTRUCTION NOTES

C700



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PROJECT INFORMATION

STONE HOUSE
MIXED USE EAST
WASHINGTON

1000 E.
WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

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PROJECT MANAGER JP

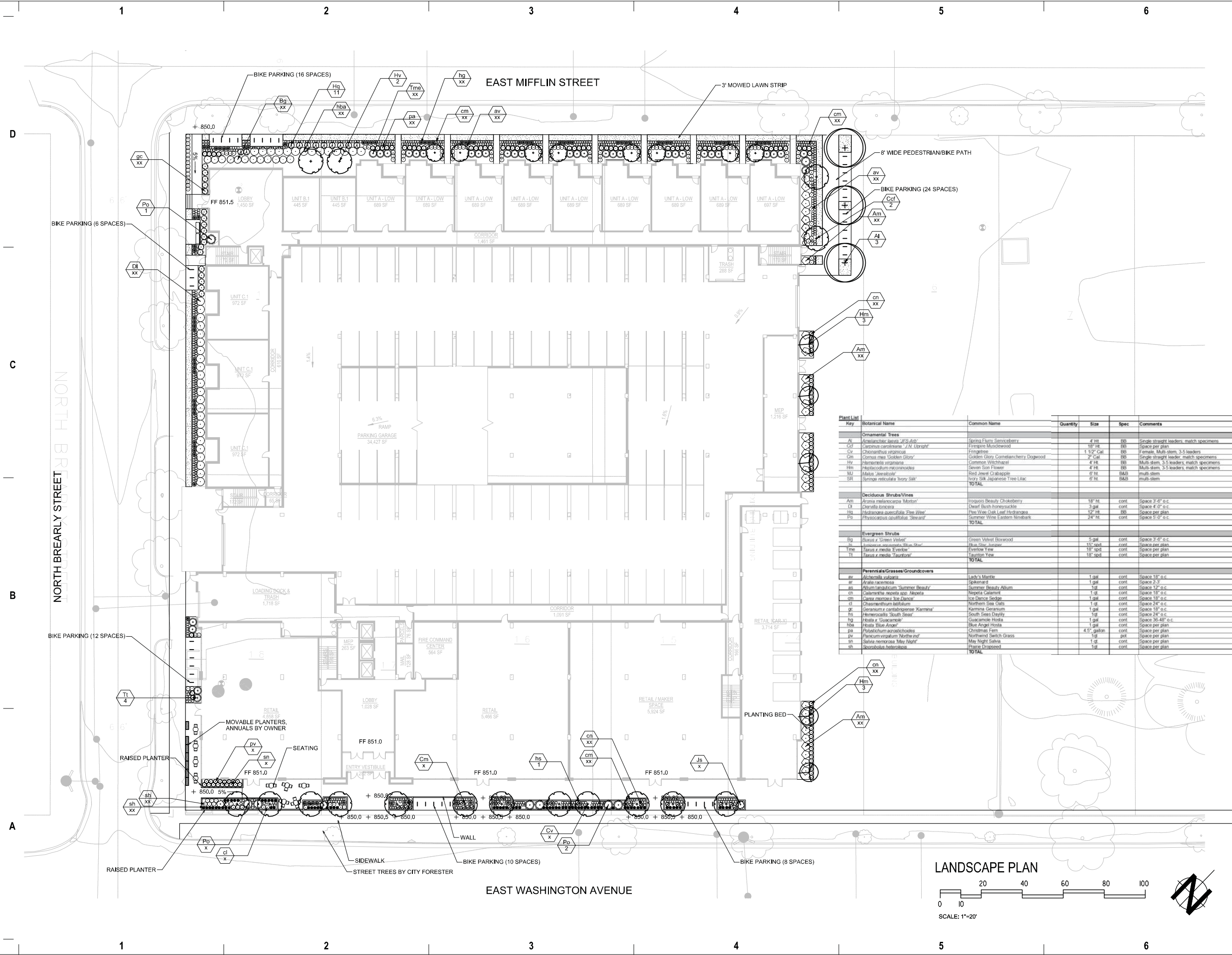
PROJECT NUMBER 14339-01

DATE 10/21/2015

LANDSCAPE PLAN

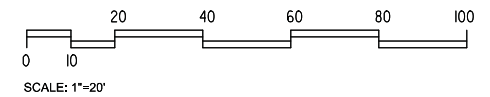
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Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Ornamental Trees						
Av	<i>Amelanchier alnifolia</i> 'Foliash'®	Spring Cherry Serviceberry	4	18"	BB	Single straight leaders, match specimens
Cc	<i>Cornus canadensis</i> 'N. Upright'	Fraxinus Muscadine	18	18"	BB	Space per plan
Cv	<i>Chionodoxa scabra</i>	Fraxinifolia	1	1 1/2'	Cal	Female, Multi-stem, 3-5 leaders
Cm	<i>Cornus mas</i> 'Golden Glory'	Golden Glory Corneliancherry Dogwood	2	Cal	BB	Single straight leader, match specimens
Hv	<i>Hemerocallis virginica</i>	Common Daylily	4	18"	BB	Multi-stem, 3-5 leaders, match specimens
Hm	<i>Hedera helix</i> 'Mantling'	Seven Son Flower	4	18"	BB	Multi-stem, 3-5 leaders, match specimens
MJ	<i>Morus nigra</i>	Red Jewel Crabapple	6	18"	BB	Multi-stem
SR	<i>Syringa reticulata</i> 'Honey Silk'	Honey Silk Japanese Tree Lilac	6	18"	BB	Multi-stem
Deciduous Shrubs/Vines						
Am	<i>Artemisia vulgaris</i> 'Marmor'	Ironstone Beauty Chokeberry	18	18"	cont	Space 3'-6" o.c.
Di	<i>Diervilla lonicera</i>	Ornamental Dogwood	3	gal	cont	Space 4'-0" o.c.
Hs	<i>Hamamelis virginica</i>	Peanut Honeysuckle	12	18"	BB	Space per plan
Po	<i>Physocarpus opulifolius</i> 'Serratif'	Pearl Necklace Japanese Spirea	24	18"	cont	Space 5'-0" o.c.
Evergreen Shrubs						
Rg	<i>Rosa x 'Serenade'</i>	Green Velvet Rosewood	5	gal	cont	Space 3'-6" o.c.
Is	<i>Ilex verticillata</i> 'Blue Star'	Blue Star Holly	15	4gal	cont	Space per plan
Time	<i>Taxus x media</i> 'Everest'	Everest Yew	18	spd	cont	Space per plan
Tl	<i>Taxus x media</i> 'Taufelberg'	Taufelberg Yew	18	spd	cont	Space per plan
Perennials/Grasses/Groundcovers						
av	<i>Achillea millefolium</i>	Lady's Mantle	1	gal	cont	Space 18" o.c.
ar	<i>Artemisia vulgaris</i>	Spikenard	1	gal	cont	Space 2'-3"
at	<i>Asplenium platyneuron</i> 'Summer Beauty'	Summer Beauty Asplenium	1	gal	cont	Space 12" o.c.
ca	<i>Calluna vulgaris</i> ssp. <i>Alpestris</i>	Hepatica Galium	1	gal	cont	Space 18" o.c.
cm	<i>Cornus mas</i> 'Ice Palace'	Ice Palace Dogwood	1	gal	cont	Space 18" o.c.
cl	<i>Chamaenerion liliiflorum</i>	Northern Sea Daisy	1	gal	cont	Space 24" o.c.
gc	<i>Geranium x cantabrigiae</i> 'Kiermas'	Hammerhead Geranium	1	gal	cont	Space 18" o.c.
hs	<i>Hemerocallis 'South Seas'</i>	South Seas Daylily	1	gal	cont	Space 24" o.c.
hg	<i>Hosta x 'Stargazer'</i>	Stargazer Hosta	1	gal	cont	Space 36-48" o.c.
hba	<i>Hosta 'Blue Angel'</i>	Blue Angel Hosta	1	gal	cont	Space per plan
pa	<i>Polystichum acrostichoides</i>	Christmas Fern	4.5	galton	cont	Space per plan
pv	<i>Platanus virginiana</i> 'Nectar'	Northern Sweet Grass	1	gal	cont	Space per plan
sn	<i>Salix nemoralis</i> 'May Night'	May Night Salix	1	gal	cont	Space per plan
sh	<i>Sparganium angustifolium</i>	Phragmites Droopseed	1	gal	cont	Space per plan
TOTAL						

LANDSCAPE PLAN



1

2

3

4

5

6

D

C

B

A



Key	Botanical Name	Common Name	Quantity	Size	Size	Comments
Shrubs						
MS	Melic sargentii 'Tina'	Tina Sargent Crabapple		5' H B&B	12", 90" ht	Multi-stemmed
RE	Rhus typhina 'Baileger'	Tiger Eyes Sumac		5' H B&B	12", 90" ht	Specimen
Perennials and vines						
am	Allium 'Summer Beauty'	Summer Beauty Ornamental Onion	4	4 1/4" pot	12", 90" ht	space 18" on center
as	Aster sericeus	Silky Aster	4	4 1/4" pot	12", 90" ht	space 18" on center
cv	Coreopsis verticillata 'Tweety'	Tweety Threadleaf Tickseed	4	4 1/4" pot	12", 90" ht	space 18" on center
wf	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	4	4 1/4" pot	12", 90" ht	space 18" on center
sf	Sedum floriferum 'Weihenstephan Gold'	Weihenstephaner Gold Sedum	4	4 1/4" pot	12", 90" ht	space 18" on center
ss	Sedum spectabilis 'Brilliant'	Standout Sedum	4	4 1/4" pot	12", 90" ht	space 18" on center
sa	Sesleria autumnalis	Autumn Moor Grass	4	4 1/4" pot	10" spd, 4'-5" ht	space 18" on center
Extensive Green Roof - mix 1						
	Sedum acre 'Aureum'			pre-grown green roof modules	12", 90" ht	Shade Fanfare Mix
	Sedum hybridum 'Immergruendchen'			pre-grown green roof modules	13" x 15" spd, 1'-2" ht	
	Sedum rupestris			pre-grown green roof modules	8" spd, 4'-5" ht	
	Sedum serotinum 'Royal Pink'			pre-grown green roof modules	8" spd, 4'-5" ht	
Extensive Green Roof - mix 2						
	Sedum acre 'Aureum'			pre-grown green roof modules		Modern Mix
	Sedum album 'Coral Carpet'			pre-grown green roof modules		
	Sedum album 'Immergruendchen'			pre-grown green roof modules		
	Sedum serotinum 'Royal Pink'			pre-grown green roof modules		
	Sedum serotinum 'Dragon's Blood'			pre-grown green roof modules		

- ⊙ Allium 'Summer Beauty'
- ⊙ Aster sericeus
- ⊙ Coreopsis verticillata 'Tweety'
- ⊙ Nepeta x faassenii 'Walker's Low'
- ⊙ Sedum floriferum 'Weihenstephan'
- ⊙ Sedum spectabilis 'Brilliant'
- Sesleria autumnalis

STONE BALLAST

SEDUM

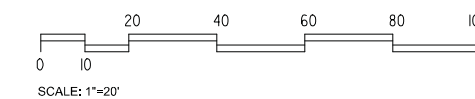
GUARDRAIL/ PARAPET

RAISED PLANTER

PAVER EDGE

STONE BALLAST

3RD FLOOR ROOF
TERRACE LANDSCAPE
PLAN



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303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608.251-3600

PROJECT INFORMATION

STONE HOUSE
MIXED USE EAST
WASHINGTON

1000 E.
WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

SHEET INFORMATION

**PROGRESS DOCUMENTS
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PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 03 ROOF
TERRACE
LANDSCAPE PLAN

L-2

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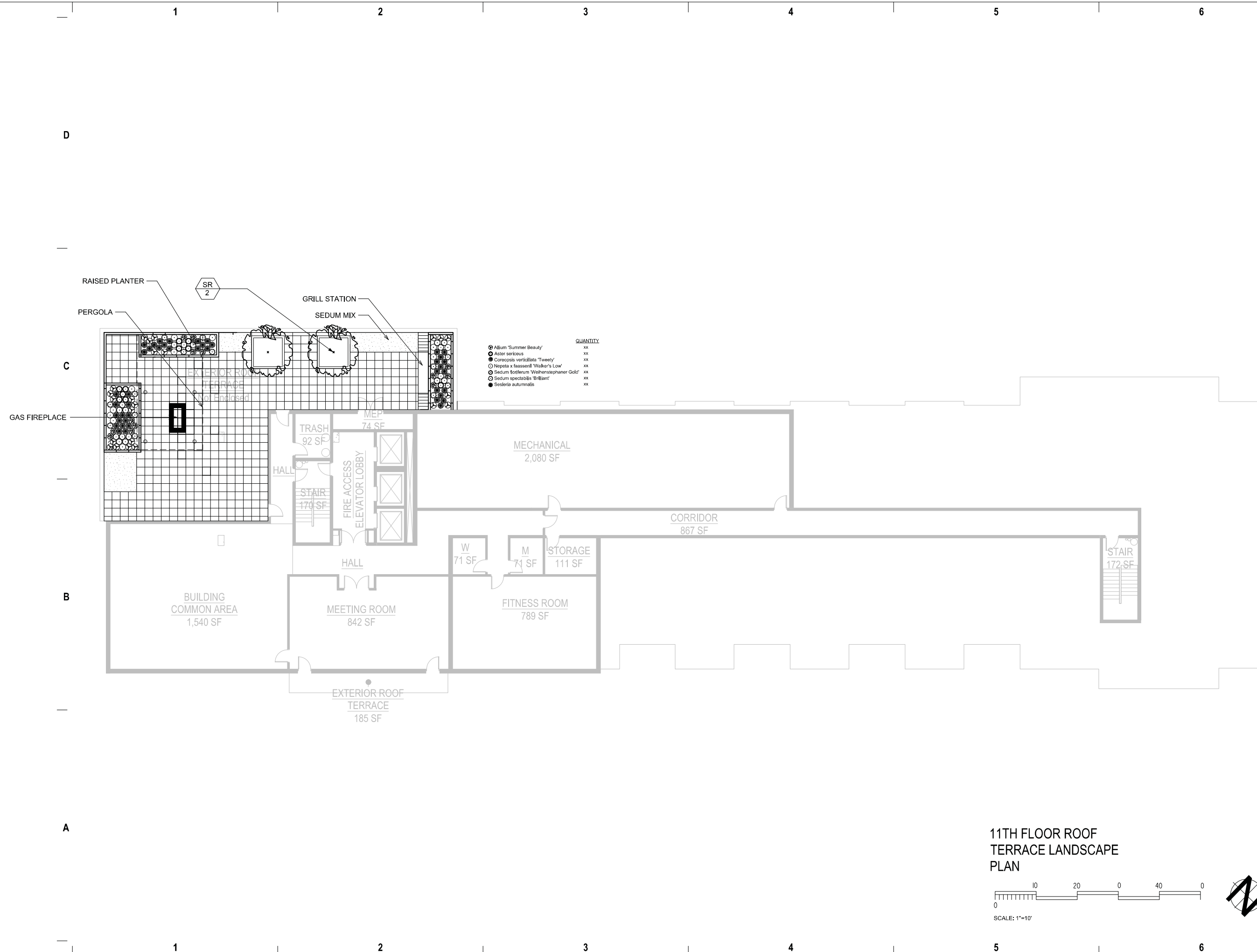
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 11 ROOF
TERRACE
LANDSCAPE PLAN

L-3



D

C

B

A

D

C

B

A

1

2

3

4

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

EXISTING SITE

A00

D



VIEW FROM EAST WASHINGTON AND LIVINGSTON LOOKING EAST

C



VIEW FROM EAST WASHINGTON LOOKING EAST



VIEW FROM EAST WASHINGTON AND INGERSOLL LOOKING WEST

B



A VIEW FROM MIFFLIN AND INGERSOLL LOOKING SOUTH

A



VIEW FROM MIFFLIN LOOKING SOUTH



VIEW FROM MIFFLIN AND BREADY LOOKING EAST

A



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PROJECT INFORMATION

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WASHINGTON**

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ISSUANCE AND REVISIONS

LAND USE APPLICATION

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EXISTING SITE

A01

D



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY



VIEW FROM EAST WASHINGTON LOOKING NORTHEAST

C



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY

B



VIEW FROM MIFFLIN AND INGERSOLL LOOKING WEST



VIEW FROM MIFFLIN LOOKING NORTHEAST

A



VIEW FROM INSIDE BREESE STEVENS FIELD LOOKING WEST

A



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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

LAND USE APPLICATION
UDC REVIEW

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DATE 12/2/2015

BUILDING SETBACKS

A02

1 2 3 4 5 6

D

CONSTELLATION 12 STORIES

GALAXIE 14 STORIES

BREESE STEVENS FIELD

PROPOSED DEVELOPMENT 10 STORIES

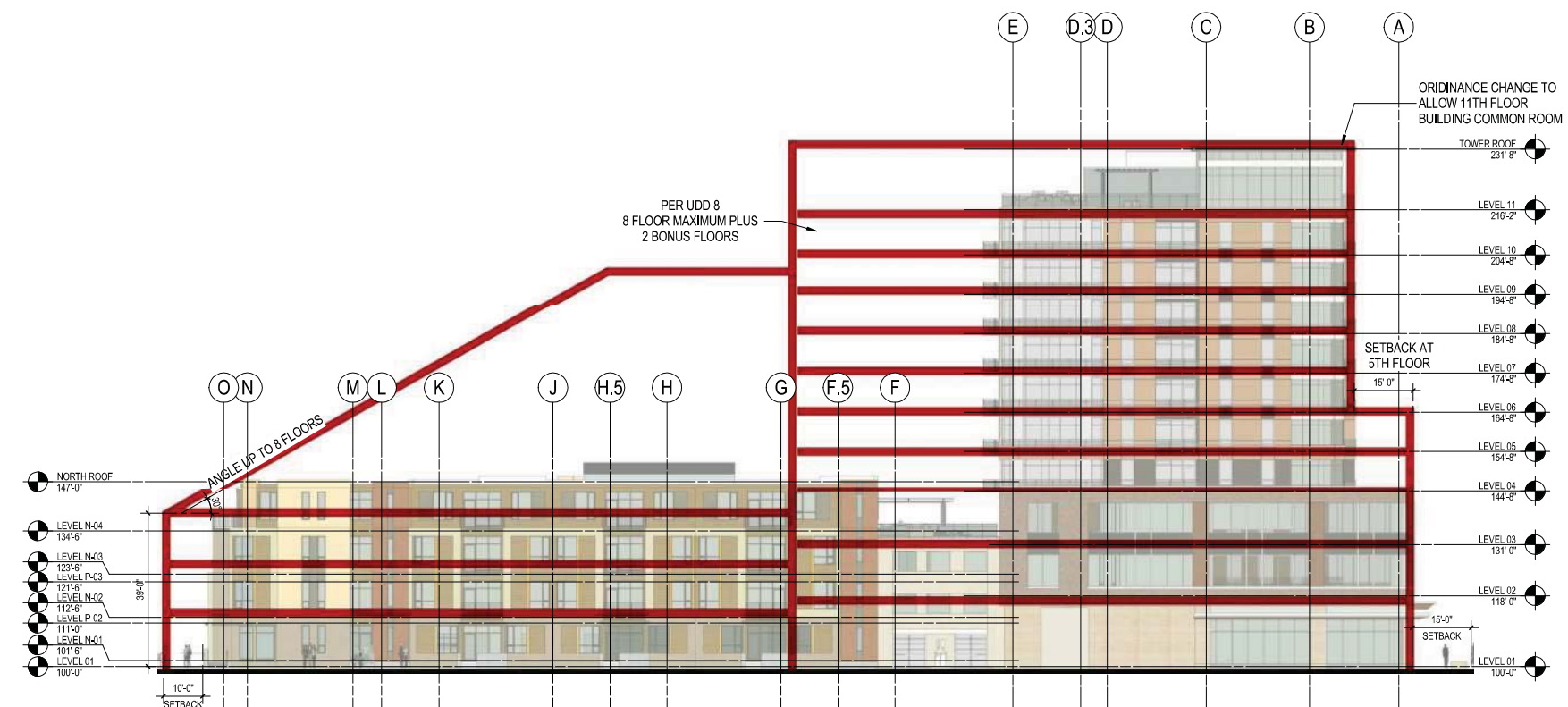


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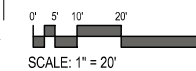
DENSITY PROFILE

B

A



1 WEST ELEVATION - SETBACKS
1" = 20'-0"



1 2 3 4 5 6



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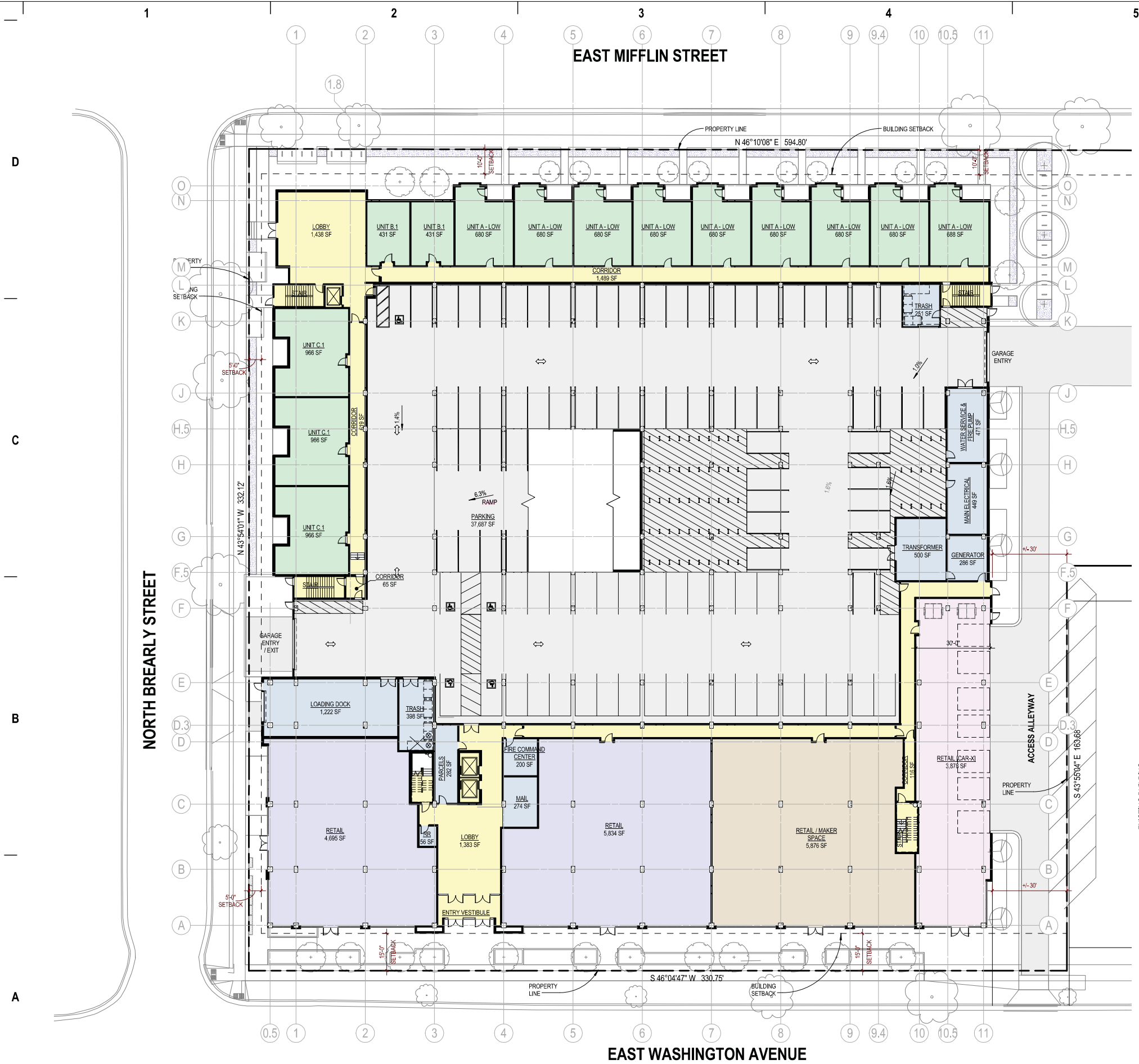
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DATE 12/2/2015

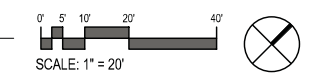
**LEVEL 01 & LEVEL
N-01 FLOOR PLAN**

A03

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1 LEVEL 01 / LEVEL N-01 FLOOR PLAN
1" = 20'-0"





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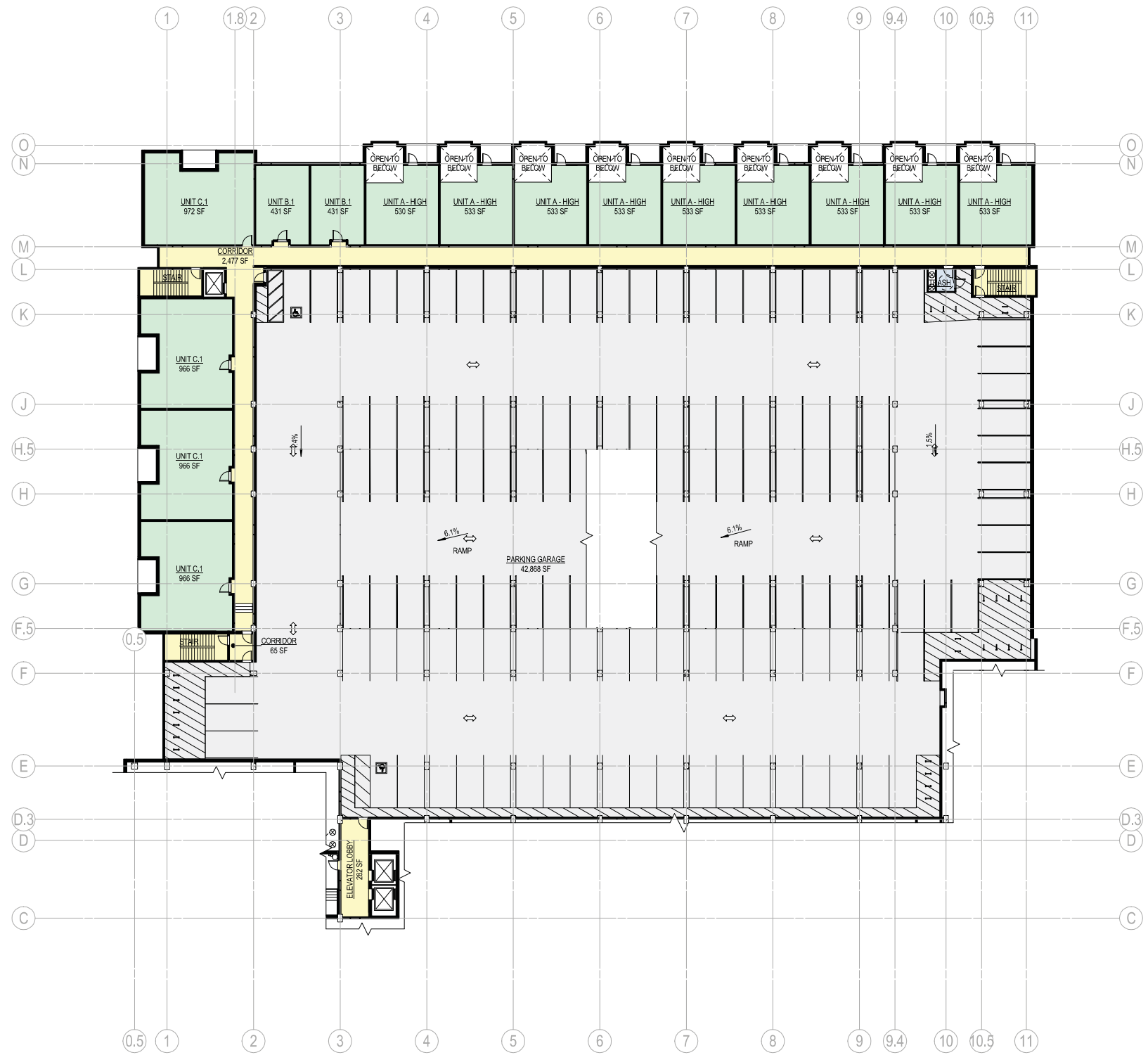
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DATE 12/2/2015

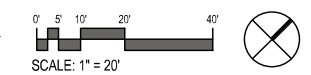
**LEVEL N-02 & LEVEL
P-02 FLOOR PLAN**

A04

D
C
B
A



1 LEVEL N-02 & LEVEL P-02 FLOOR PLAN
1" = 20'-0"



1 2 3 4 5 6

1 2 3 4 5 6



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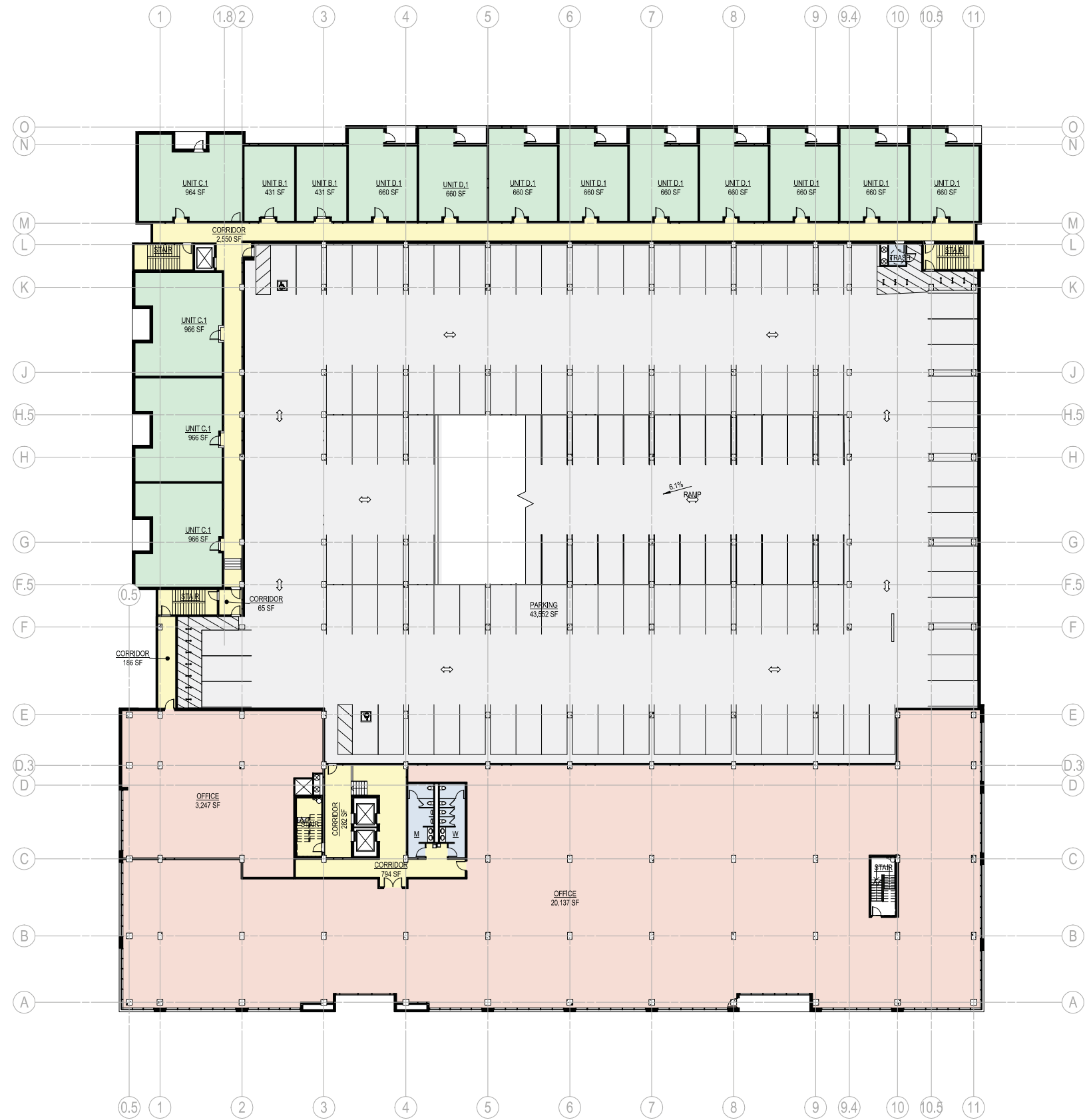
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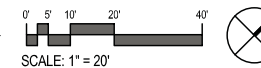
DATE 12/2/2015

**LEVEL 02, LEVEL
N-03, & LEVEL P-03
FLOOR PLAN**

A05



1 LEVEL 02, LEVEL N-03, & LEVEL P-03 FLOOR PLAN
1" = 20'-0"





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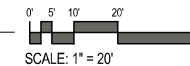
DATE 12/2/2015

**LEVEL 03 & LEVEL
N-04 FLOOR PLAN**

A06



1 LEVEL 03 & LEVEL N-04 FLOOR PLAN
1" = 20'-0"



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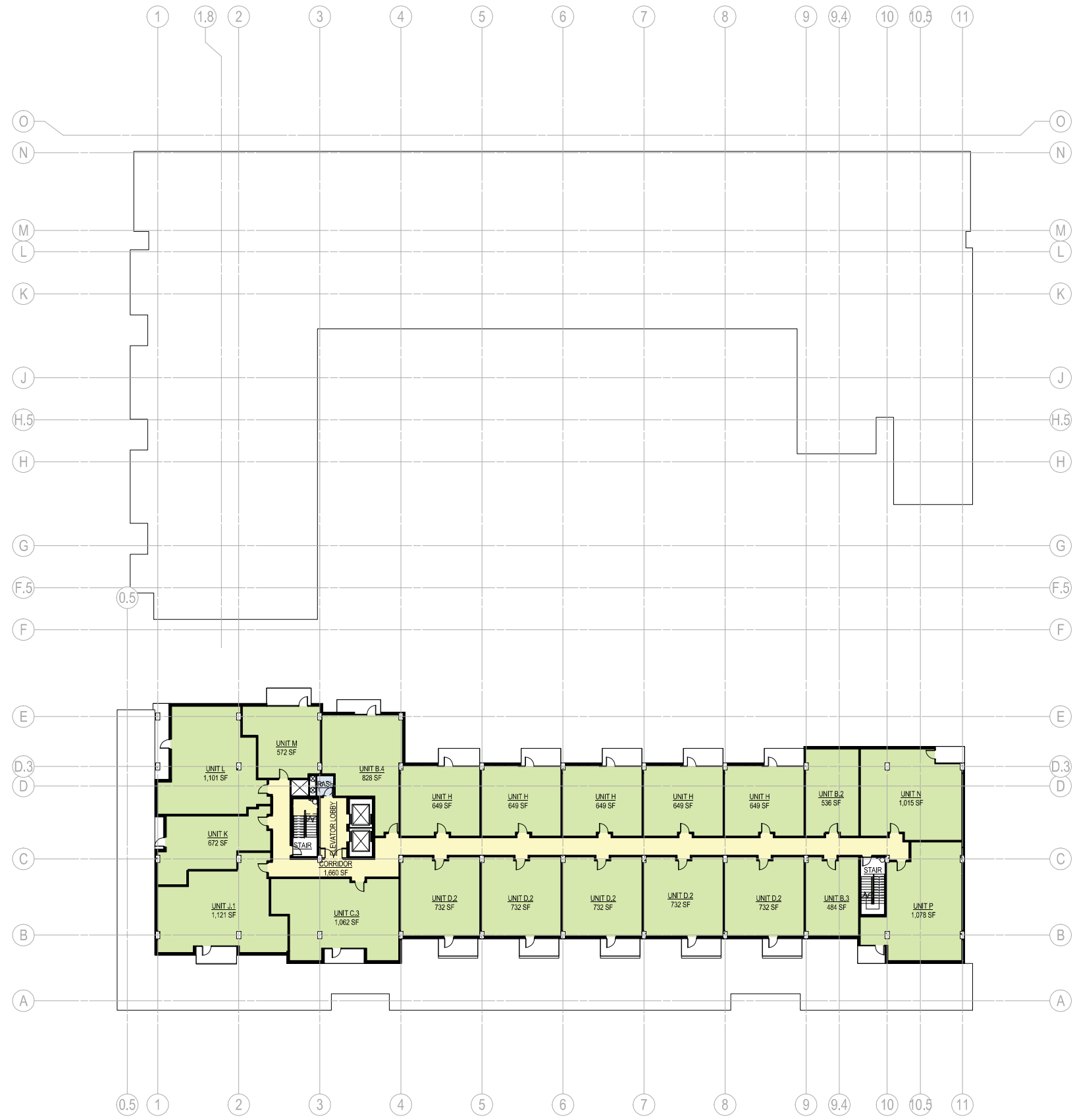
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

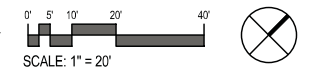
DATE 12/2/2015

**LEVEL 04 FLOOR
PLAN**

A07



1 LEVELS 04 - 10 FLOOR PLAN (TYPICAL)
1" = 20'-0"





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LAND USE APPLICATION
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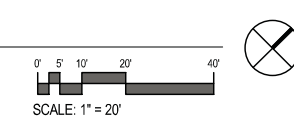
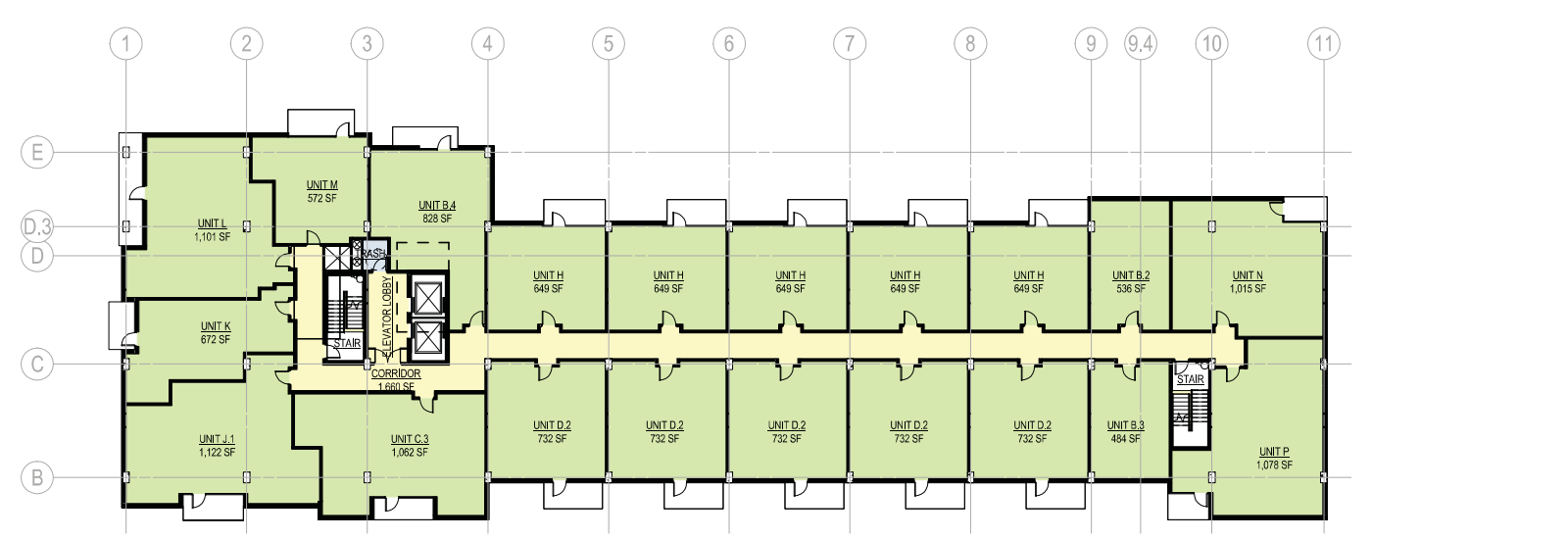
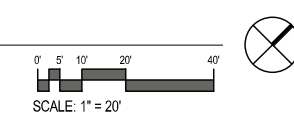
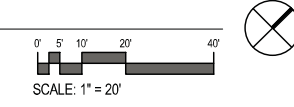
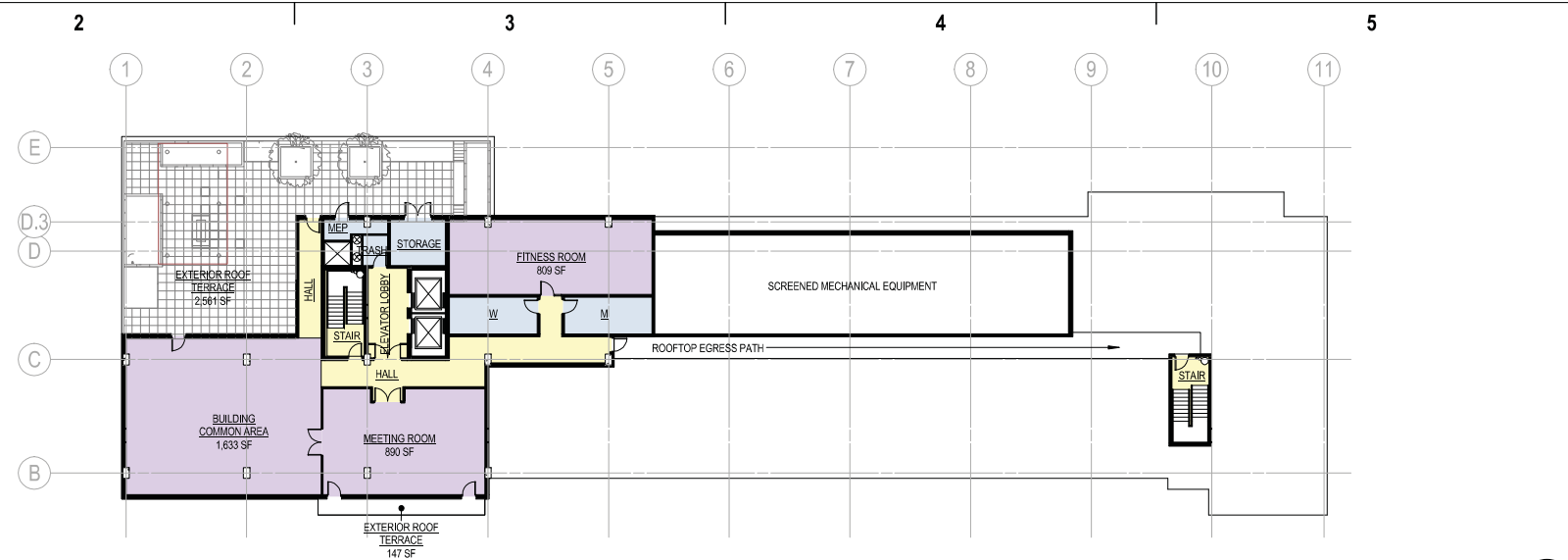
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/2/2015

**LEVELS 05-11
FLOOR PLANS**

A08



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D

C

B

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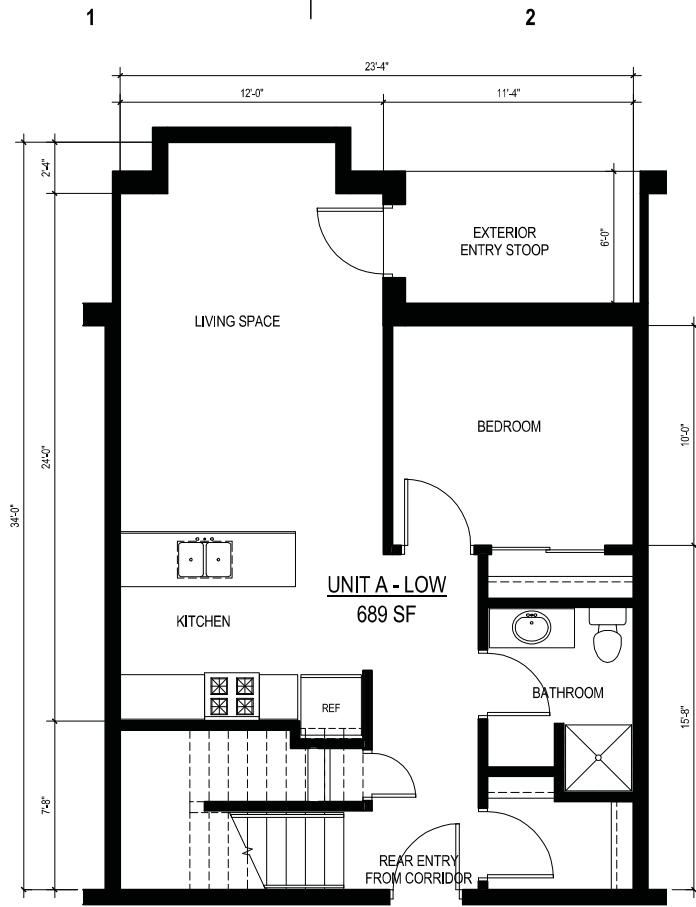
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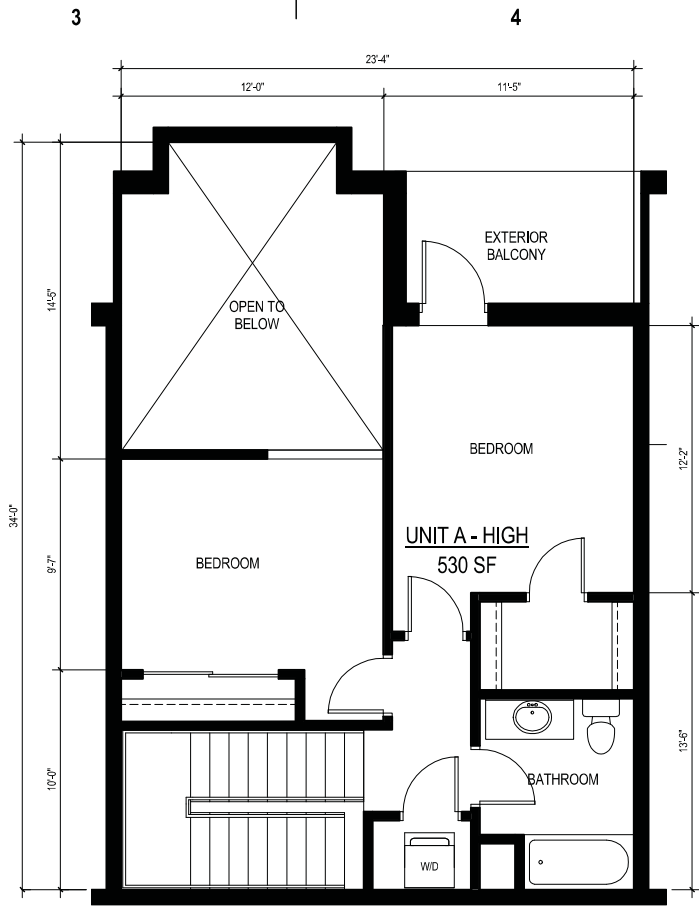
DATE 10/21/2015

UNIT FLOOR PLANS

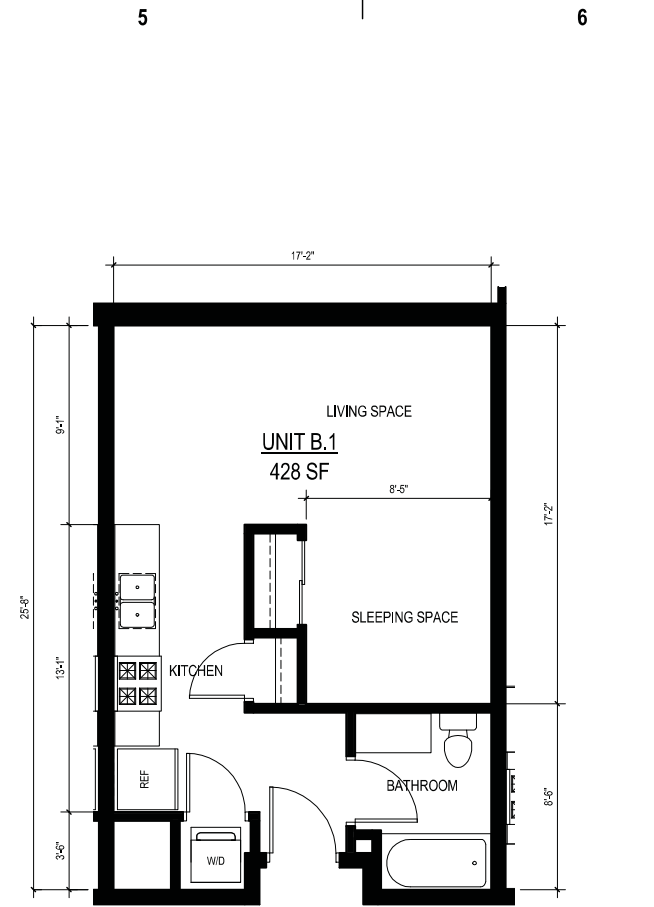
A09



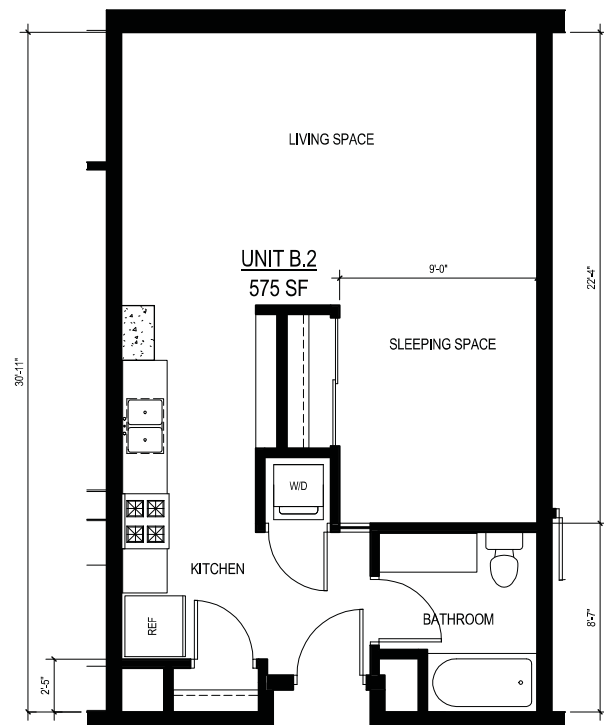
1 UNIT A - LOWER LEVEL (AFFORDABLE TOWNHOME)
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



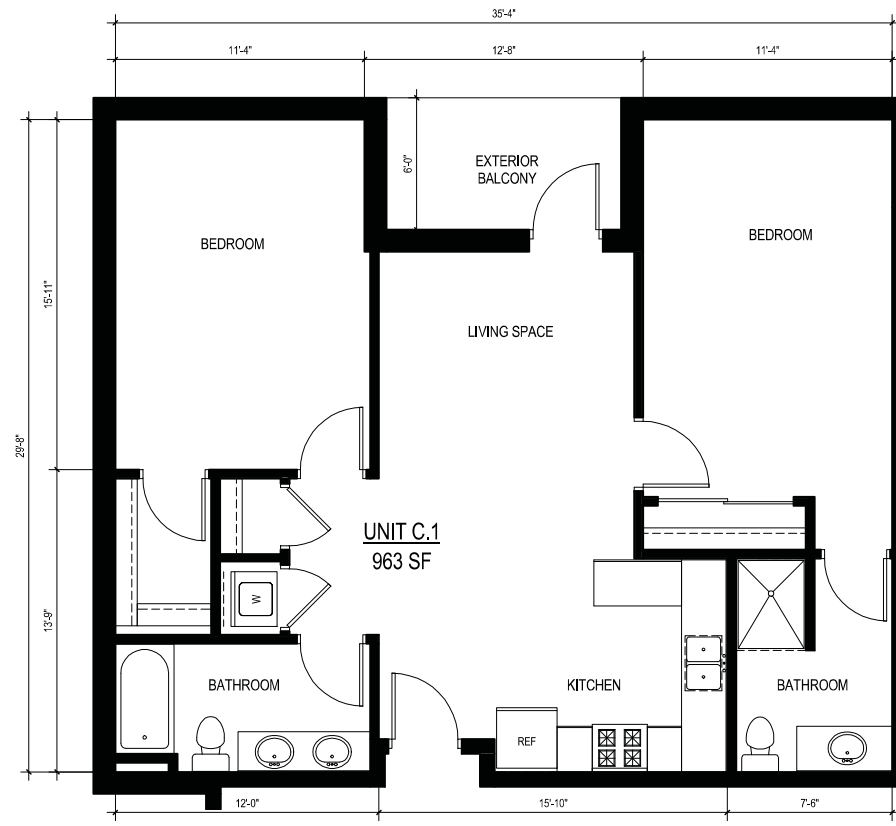
2 UNIT A - HIGHER LEVEL (AFFORDABLE TOWNHOME)
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



3 UNIT B.1 (AFFORDABLE APARTMENT)
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



4 UNIT B.2 (MARKET-RATE APARTMENT)
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



5 UNIT C.1 (AFFORDABLE APARTMENT)
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



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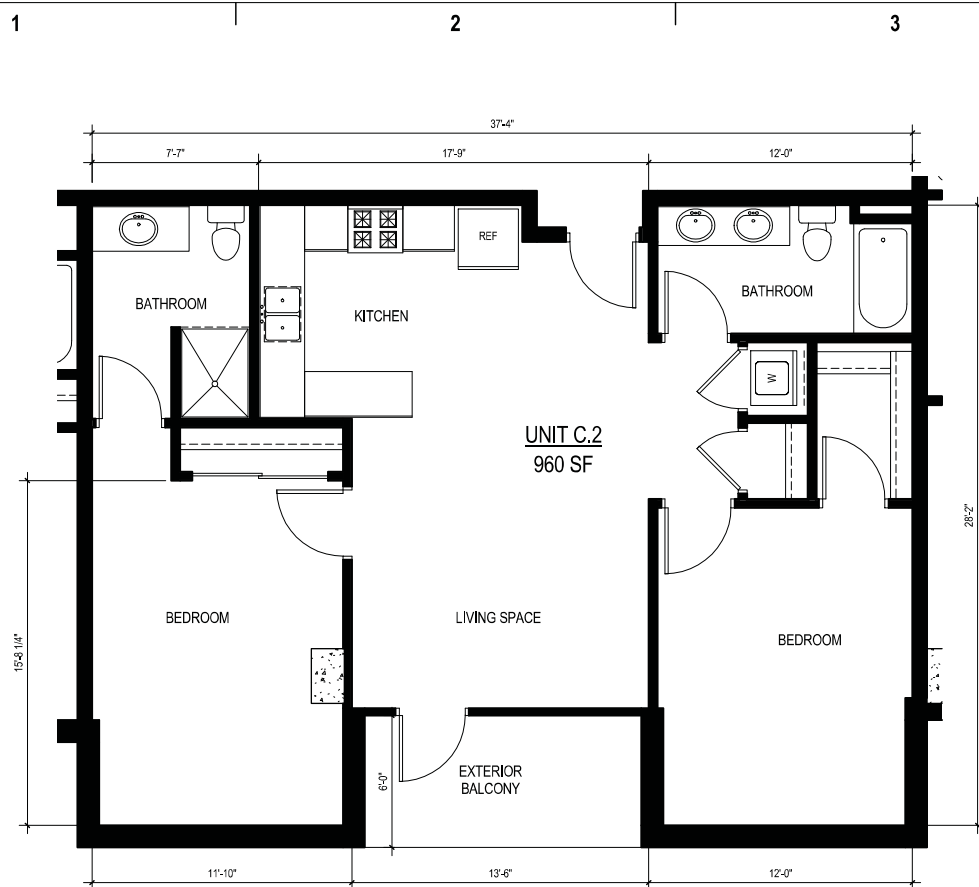
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

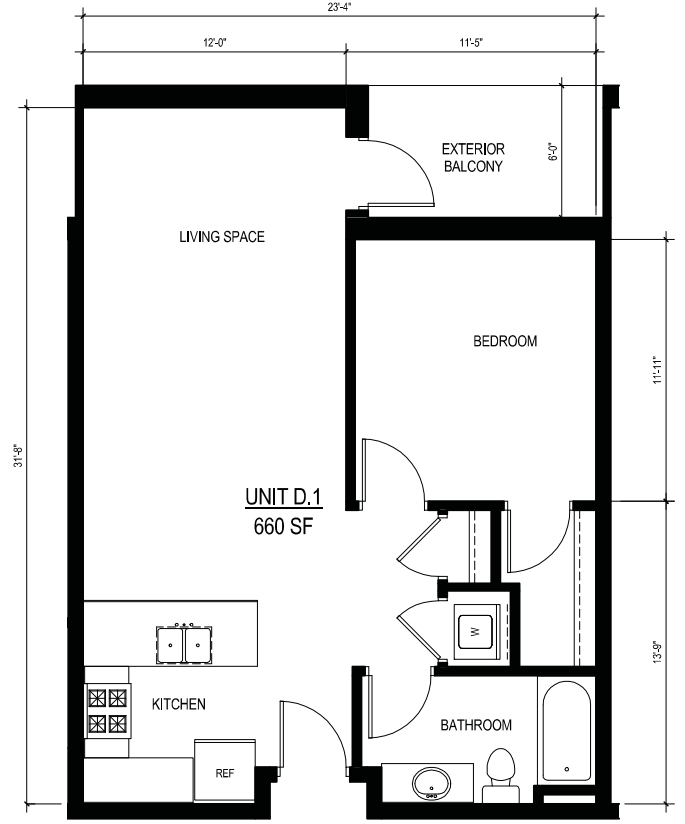
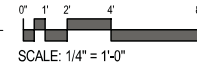
DATE 10/21/2015

UNIT FLOOR PLANS

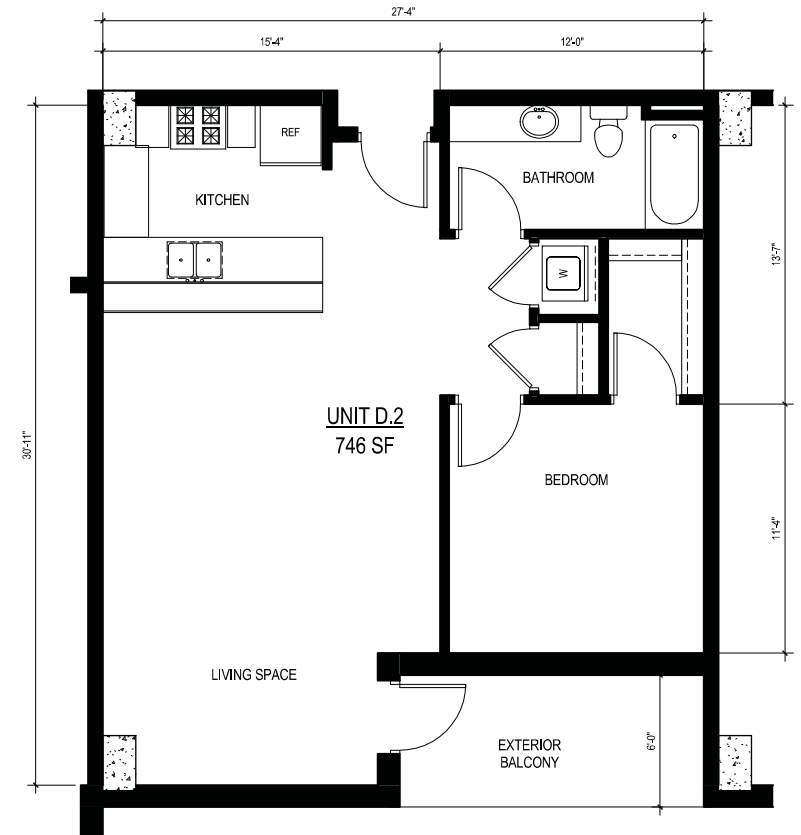
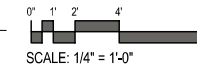
A10



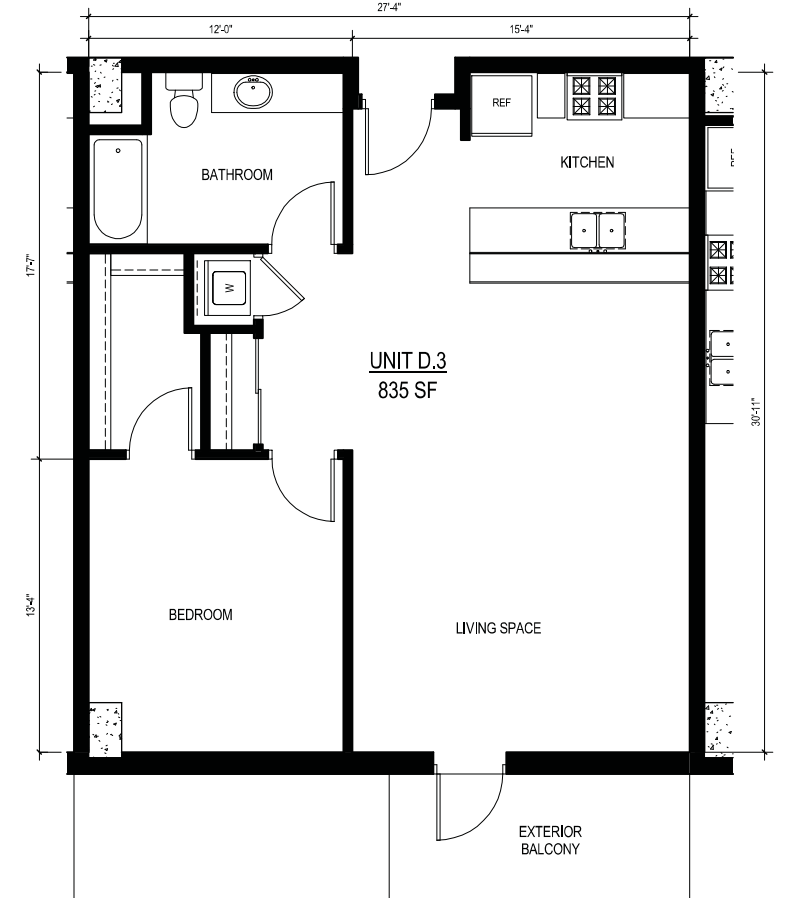
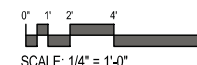
1 UNIT C.2 (MARKET-RATE APARTMENT)
1/4" = 1'-0"



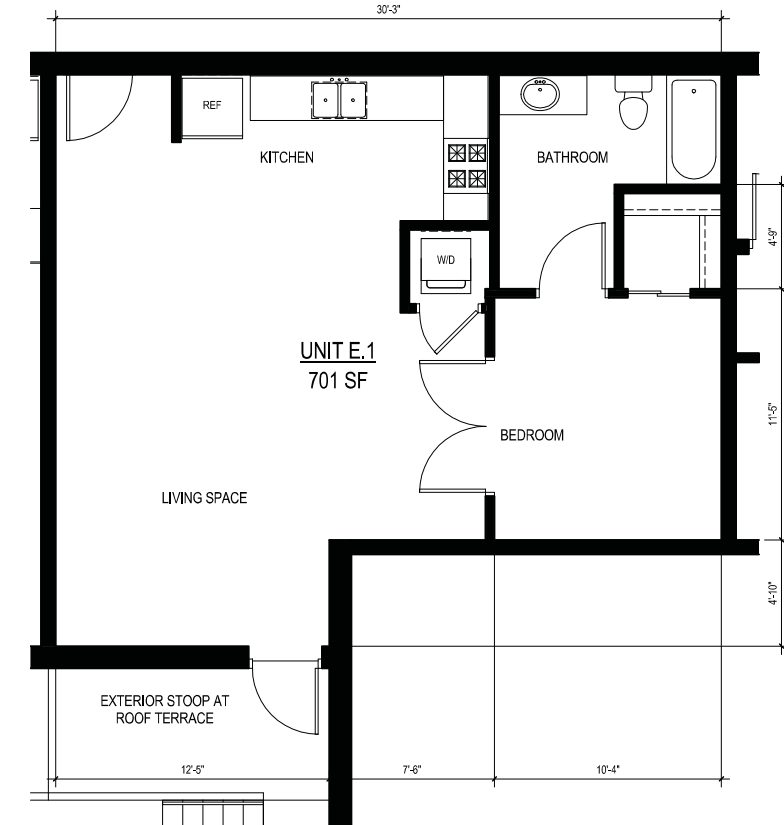
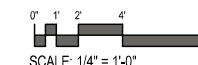
2 UNIT D.1 (AFFORDABLE APARTMENT)
1/4" = 1'-0"



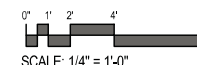
3 UNIT D.2 (MARKET-RATE APARTMENT)
1/4" = 1'-0"



4 UNIT D.3 (MARKET-RATE APARTMENT)
1/4" = 1'-0"



5 UNIT E.1 (AFFORDABLE APARTMENT)
1/4" = 1'-0"





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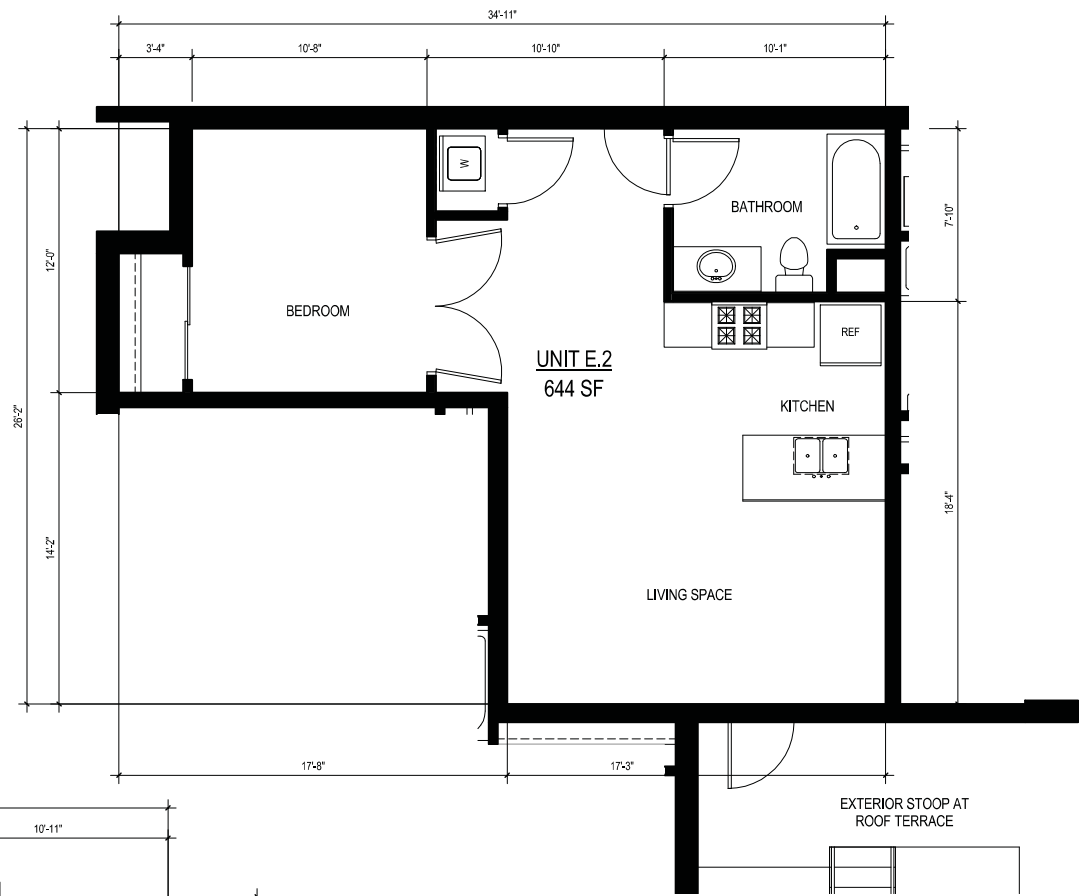
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

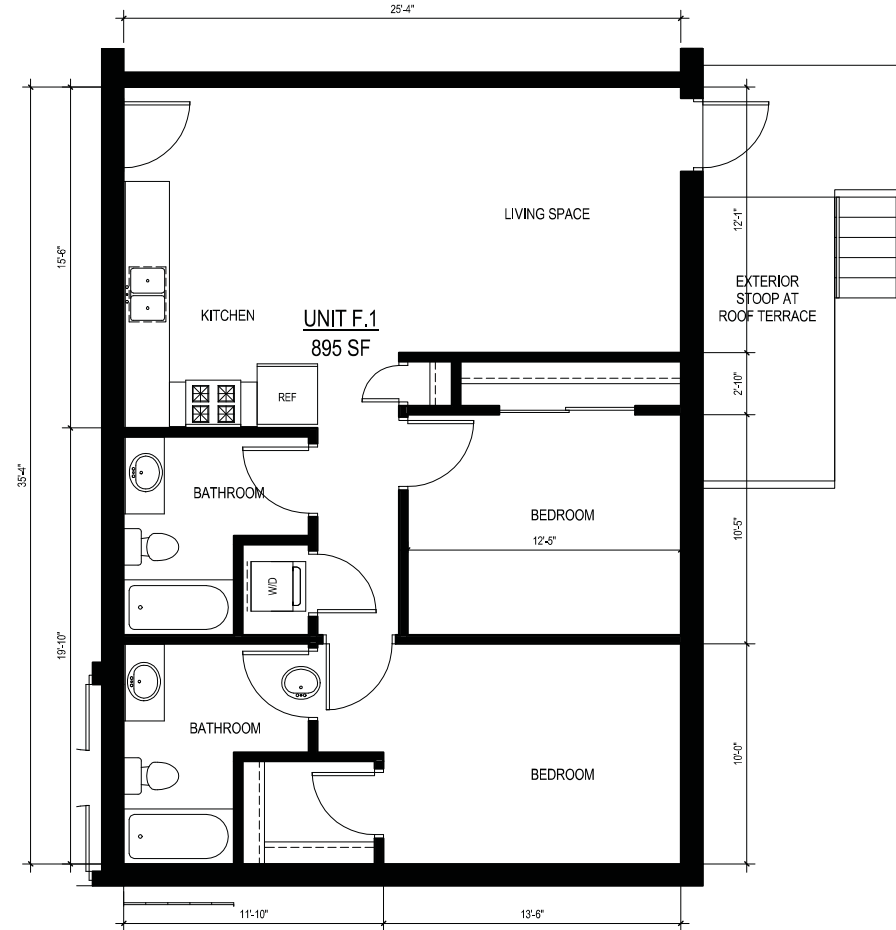
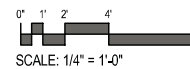
DATE 10/21/2015

UNIT FLOOR PLANS

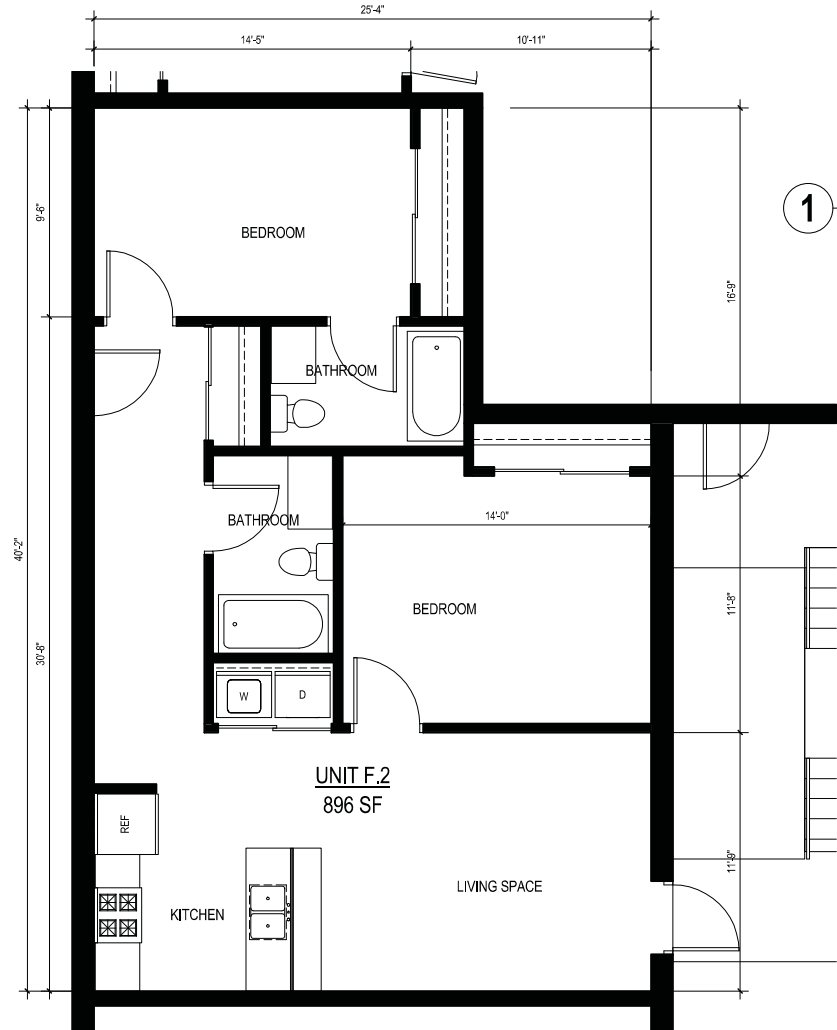
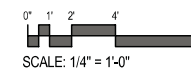
A11



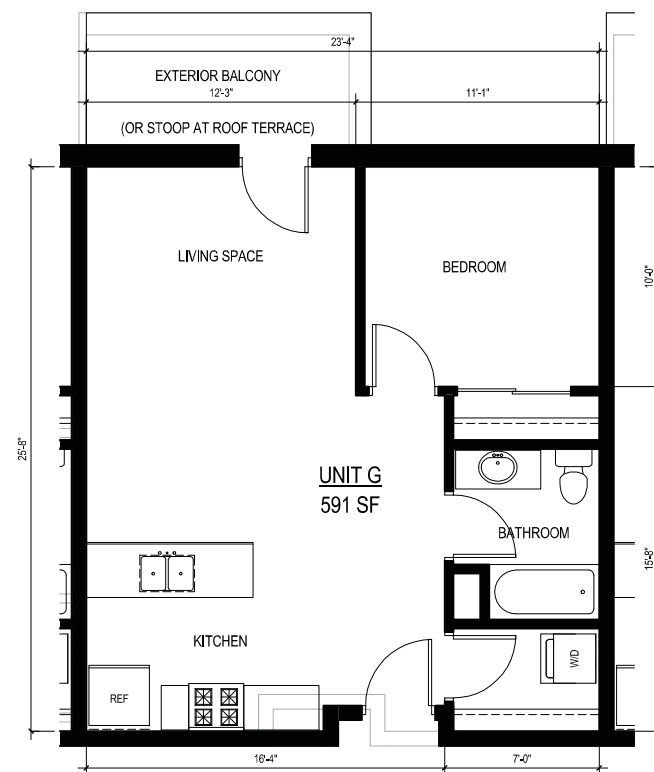
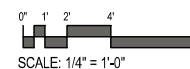
1 UNIT E.2 (AFFORDABLE APARTMENT)
1/4" = 1'-0"



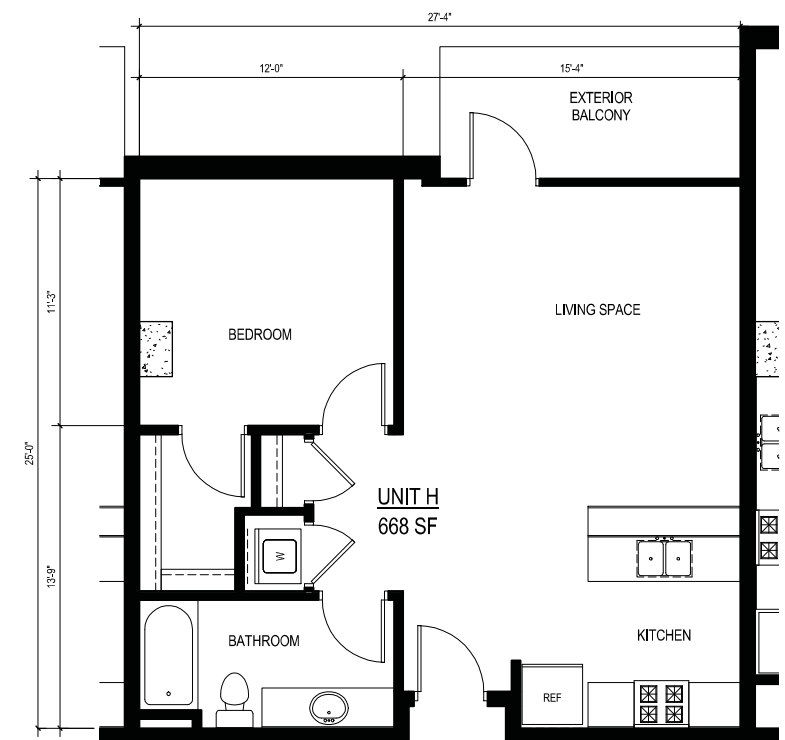
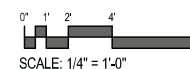
2 UNIT F.1 (AFFORDABLE APARTMENT)
1/4" = 1'-0"



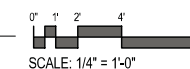
3 UNIT F.2 (AFFORDABLE APARTMENT)
1/4" = 1'-0"



4 UNIT G (AFFORDABLE APARTMENT)
1/4" = 1'-0"



5 UNIT H (MARKET-RATE APARTMENT)
1/4" = 1'-0"





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PROJECT INFORMATION

**STONE HOUSE
MIXED USE EAST
WASHINGTON**

1000 E.
WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

SHEET INFORMATION

**PROGRESS DOCUMENTS
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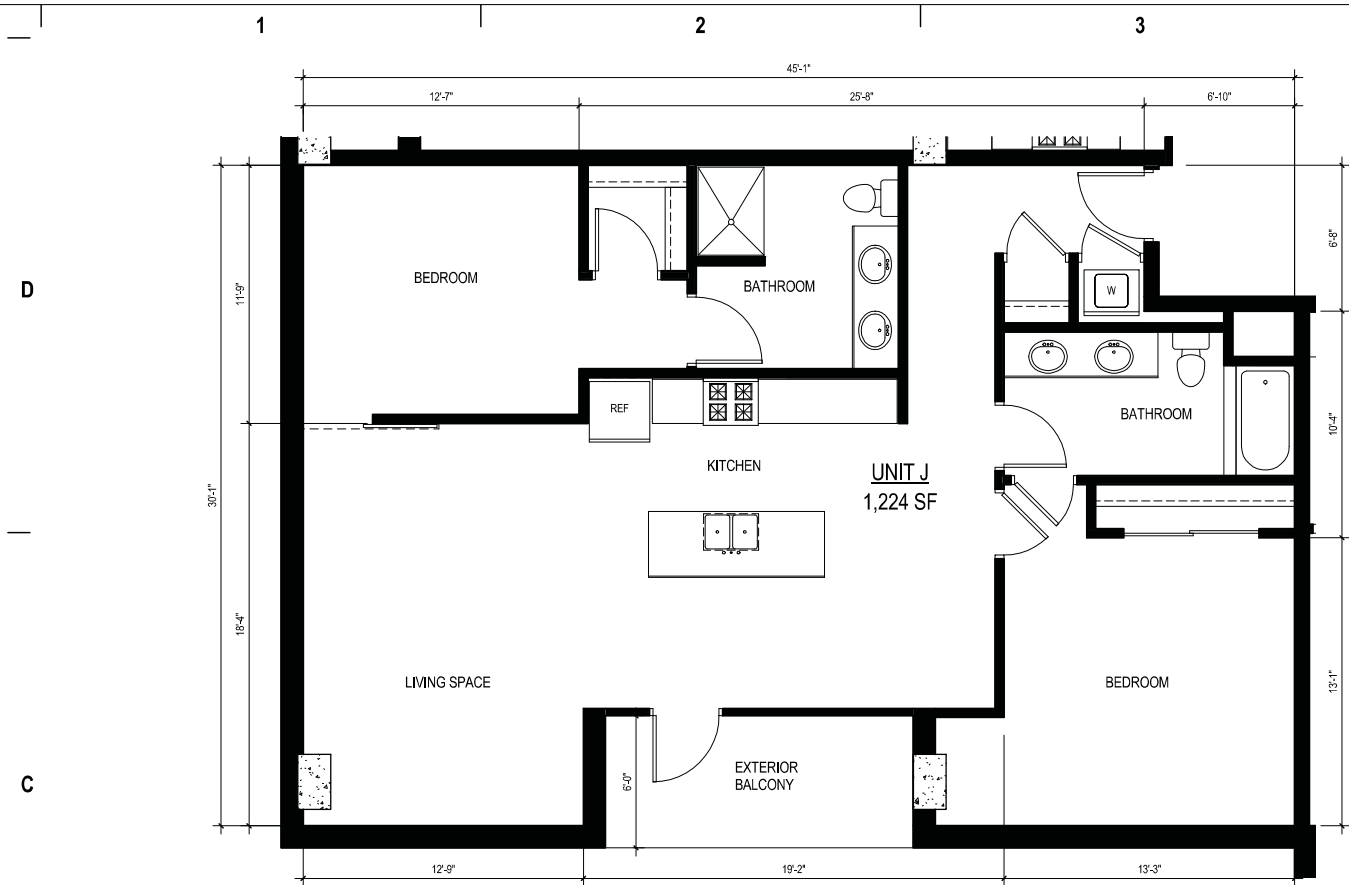
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

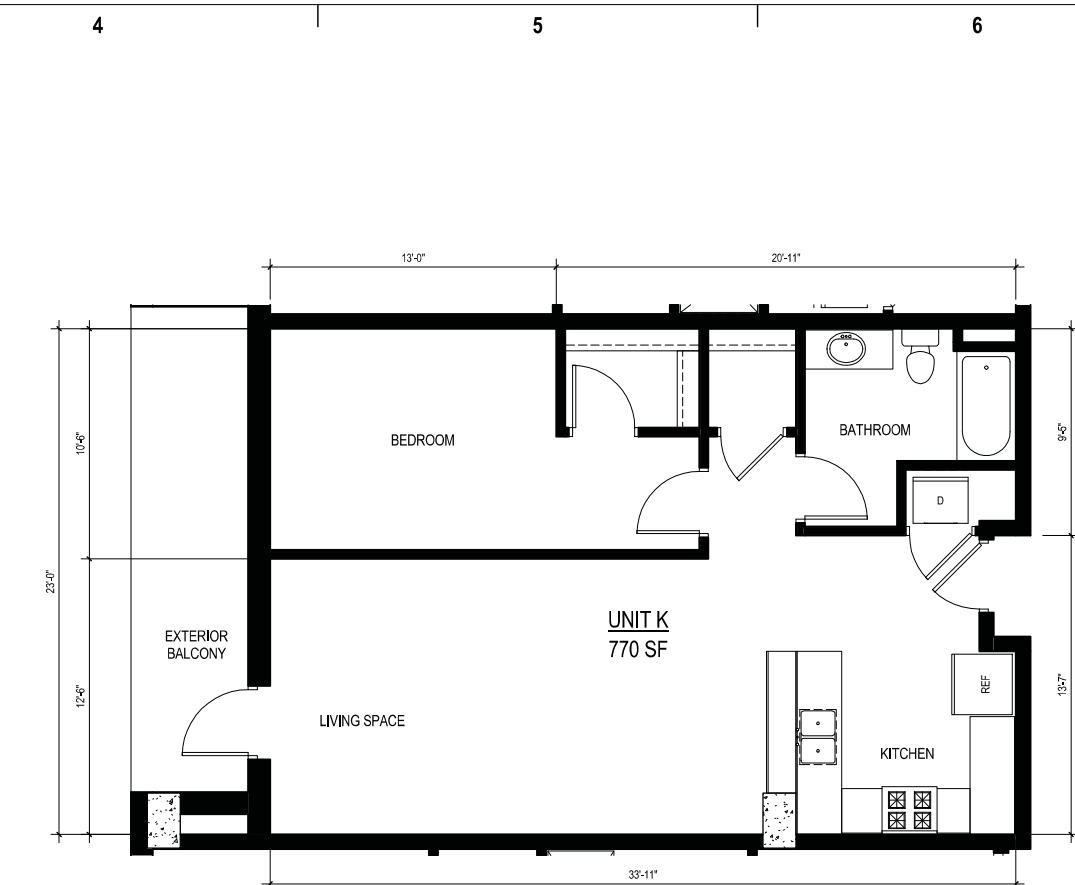
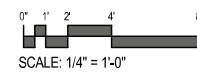
DATE 10/21/2015

UNIT FLOOR PLANS

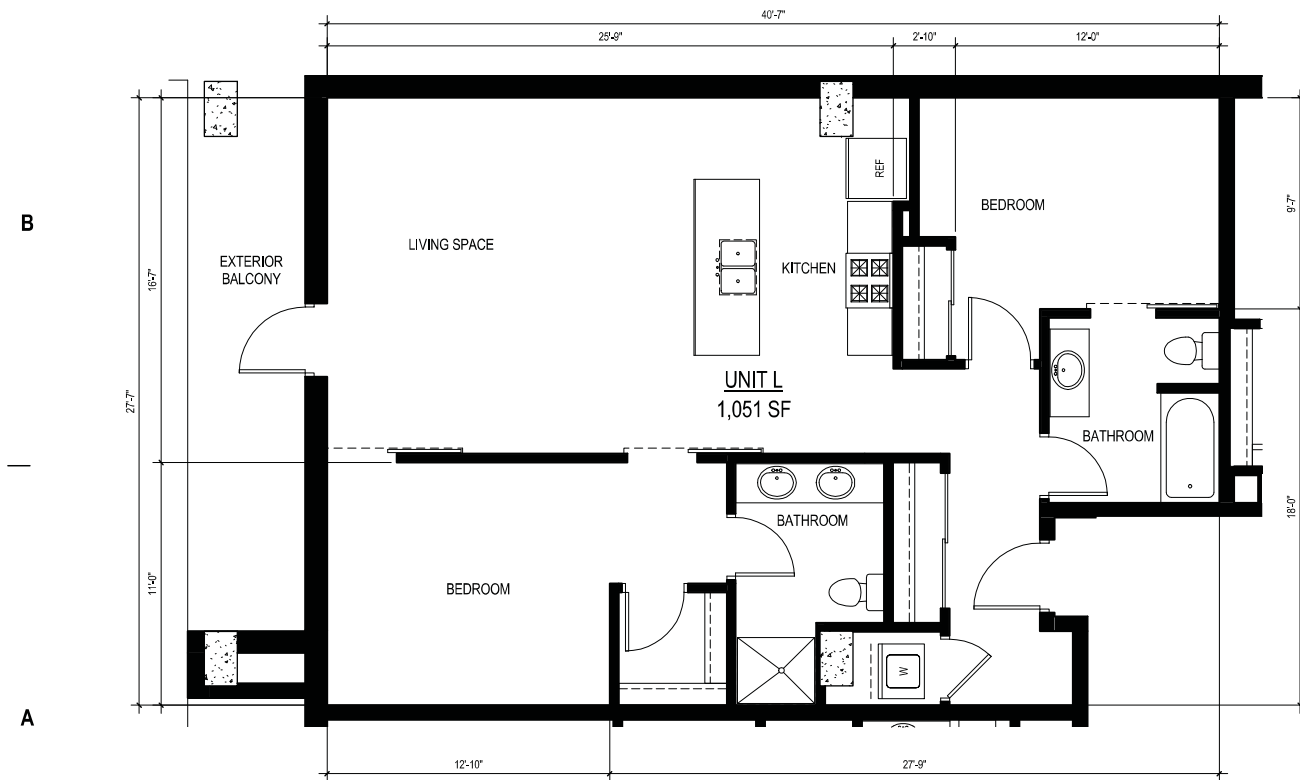
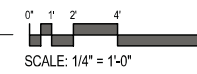
A12



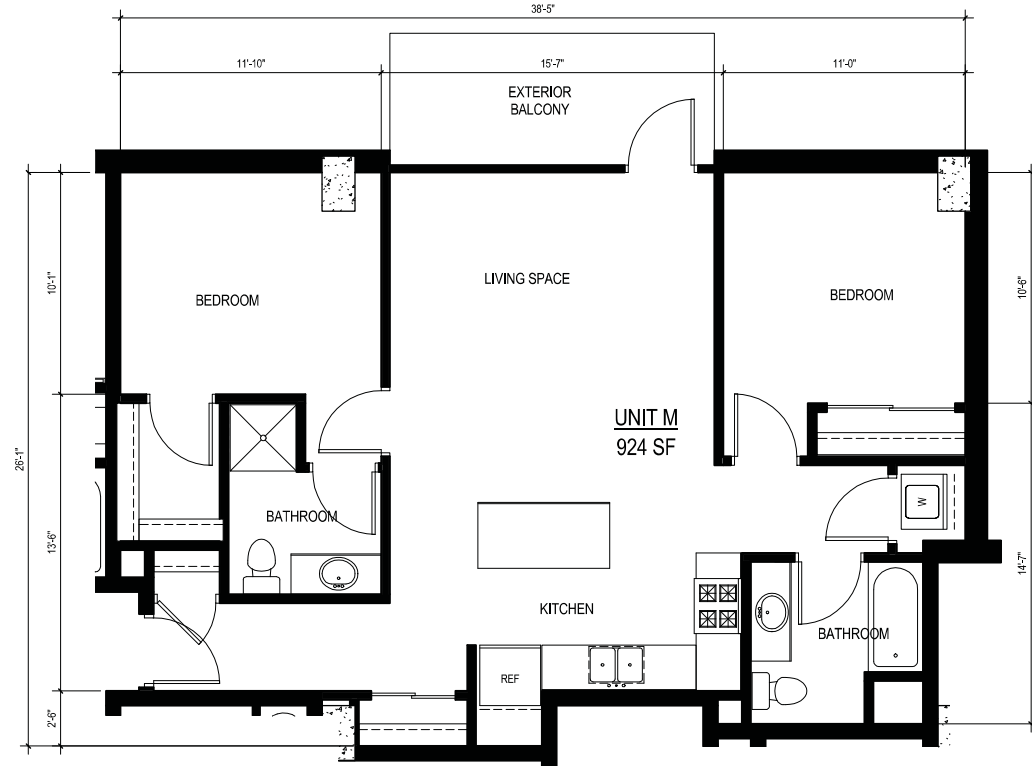
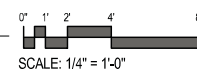
1 UNIT J (MARKET-RATE APARTMENT)
1/4" = 1'-0"



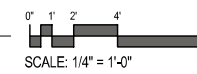
2 UNIT K (MARKET-RATE APARTMENT)
1/4" = 1'-0"



3 UNIT L (MARKET-RATE APARTMENT)
1/4" = 1'-0"



4 UNIT M (MARKET-RATE APARTMENT)
1/4" = 1'-0"





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PROJECT INFORMATION

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LAND USE APPLICATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

UNIT FLOOR PLANS

A13

1 2 3 4 5 6

D

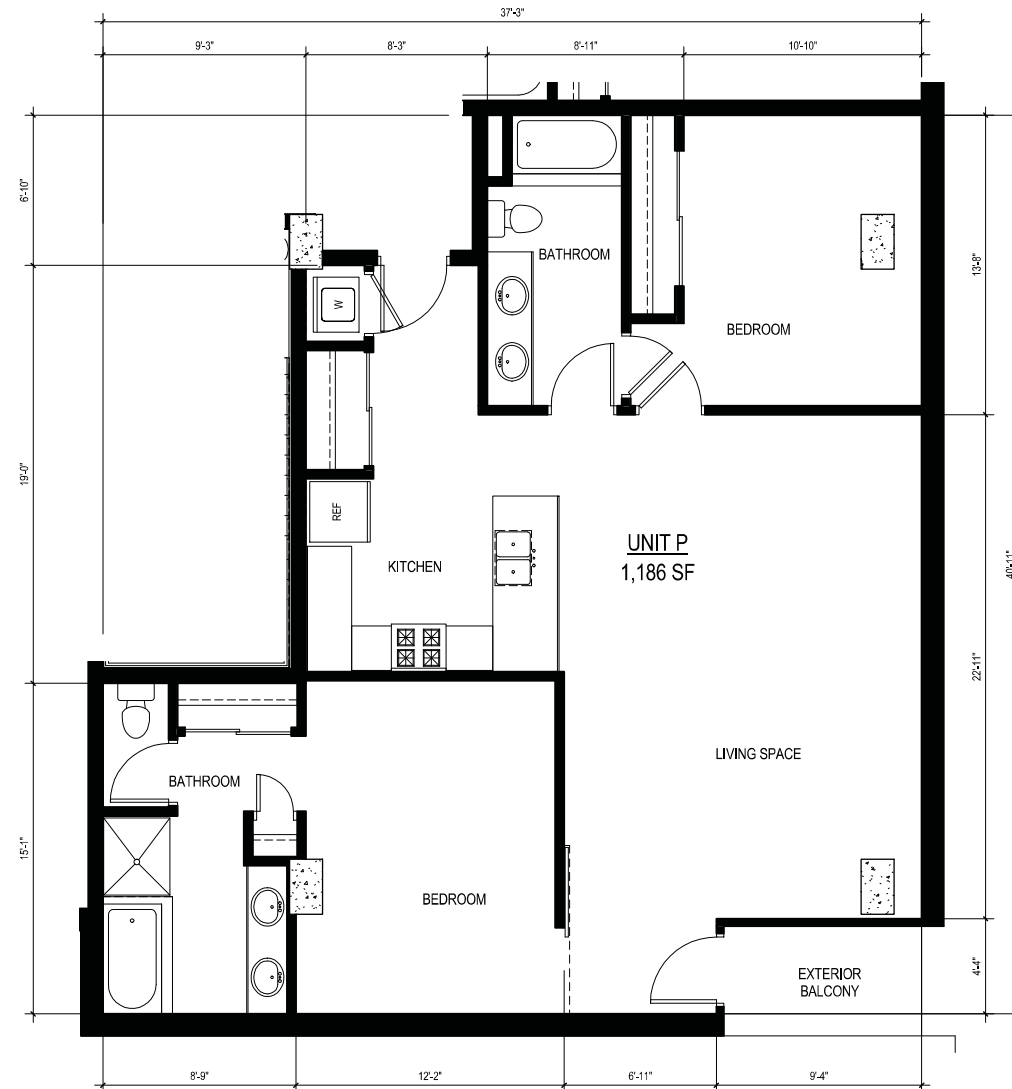
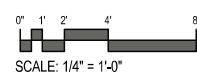
C

B

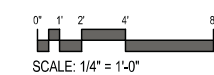
A



1 UNIT N (MARKET-RATE APARTMENT)
1/4" = 1'-0"



2 UNIT P (MARKET-RATE APARTMENT)
1/4" = 1'-0"



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KEYNOTES PER SHEET

0341-05	EXPOSED CONCRETE
0443-02	BRICK COLOR 1 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-07	BRICK COLOR 1 MODULAR
0724-01	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 1
0724-07	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 2
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-10	METAL PANEL - COLOR 3
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-18	METAL PANEL - COLOR 7
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/2/2015

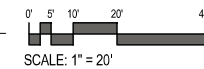
**BUILDING
ELEVATIONS**

A14

D

C

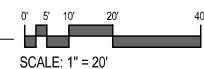
1 NORTH ELEVATION-AFFORDABLE
1" = 20'-0"



B

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2 NORTH ELEVATION
1" = 20'-0"



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**BUILDING
ELEVATIONS**

A15

KEYNOTES PER SHEET	
0341-04	PRECAST CONCRETE WALL PANEL
0341-05	EXPOSED CONCRETE
0443-02	BRICK COLOR 1 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-05	MANUFACTURED STONE ROUGH CUT
0443-06	NATURAL STONE BASE
0443-07	BRICK COLOR 1 MODULAR
0724-01	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 1
0724-07	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 2
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-10	METAL PANEL - COLOR 3
0742-11	METAL PANEL - COLOR 4
0742-14	ARCHITECTURAL LOUVER
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-18	METAL PANEL - COLOR 7
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0844-01	ALUMINUM-FRAMED CURTAIN WALL
0880-01	SPANDREL GLASS
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



1 SOUTH ELEVATION
1" = 20'-0"



2 WEST ELEVATION
1" = 20'-0"

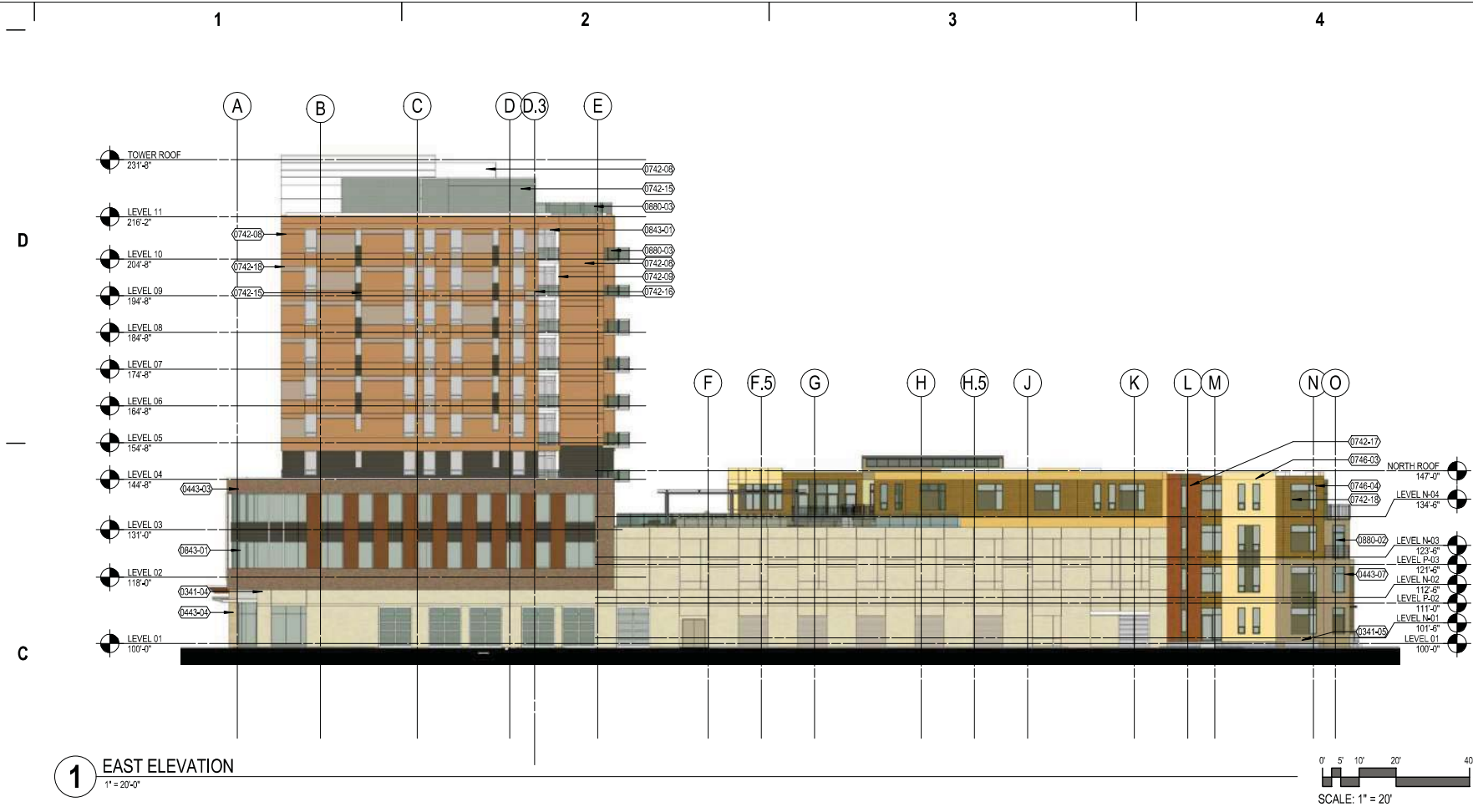
SCALE: 1" = 20'



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KEYNOTES PER SHEET	
0341-04	PRECAST CONCRETE WALL PANEL
0341-06	EXPOSED CONCRETE
0443-03	BRICK COLOR 2 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-07	BRICK COLOR 1 MODULAR
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-18	METAL PANEL - COLOR 7
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



1 EAST ELEVATION
1" = 20'-0"



2 EAST ELEVATION - AFFORDABLE
1" = 20'-0"



3 NORTH ELEVATION - AFFORDABLE APARTMENTS
1" = 20'-0"

PROJECT INFORMATION

**STONE HOUSE
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ISSUANCE AND REVISIONS

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PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	12/2/2015

**BUILDING
ELEVATIONS**

A16

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VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

B

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STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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PROJECT INFORMATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/2/2015

PERSPECTIVES

A17

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VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY



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PROJECT INFORMATION

**STONE HOUSE
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WASHINGTON**

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WASHINGTON
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ISSUANCE AND REVISIONS

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#	DATE	DESCRIPTION
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STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

SHEET INFORMATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/2/2015

PERSPECTIVES

A18

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ROOFTOP VIEW OF THE ELEVENTH FLOOR TERRACE

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VIEW OF THE AFFORDABLE HOUSING FROM THE CORNER OF MIFFLIN AND BREARLY

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PROJECT INFORMATION

**STONE HOUSE
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1000 E.
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MADISON, WI 53703

ISSUANCE AND REVISIONS

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/2/2015

PERSPECTIVES

A19

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STREET VIEW FROM THE CORNER
OF MIFFLIN AND BREARLY

B

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STREET VIEW OF THE AFFORDABLE
HOUSING FROM MIFFLIN

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D

C

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B

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/2/2015

A

PERSPECTIVES

A20

MARCH 20

JUNE 21

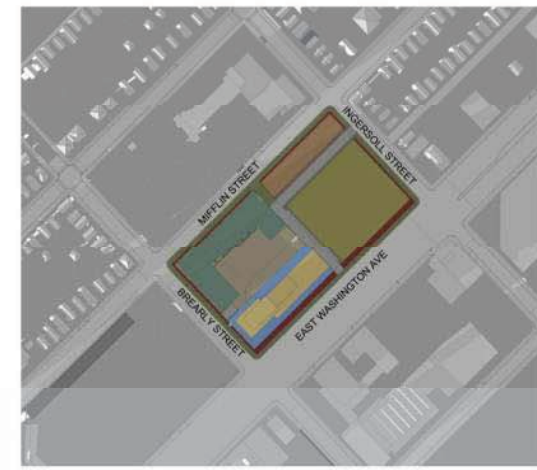
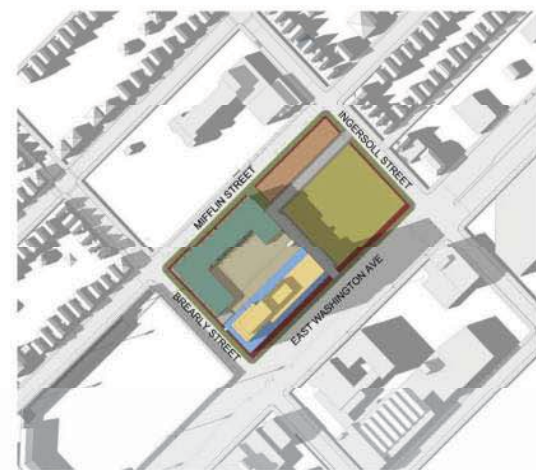
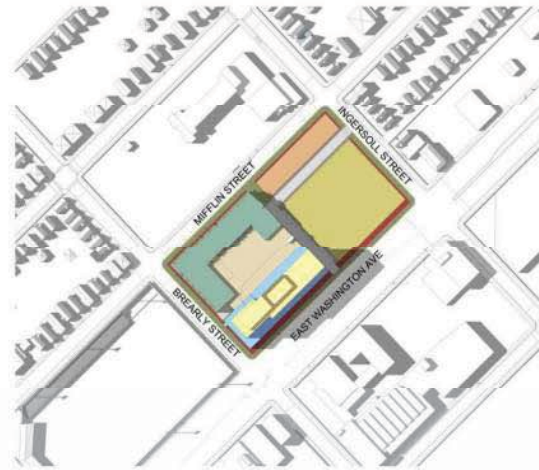
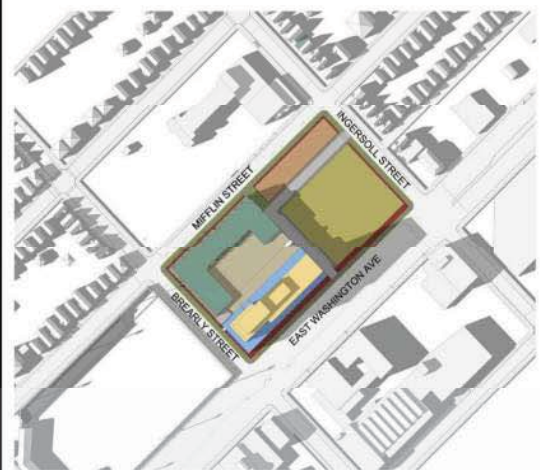
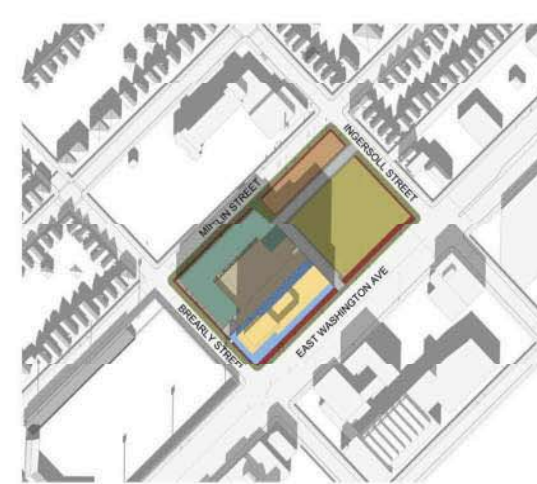
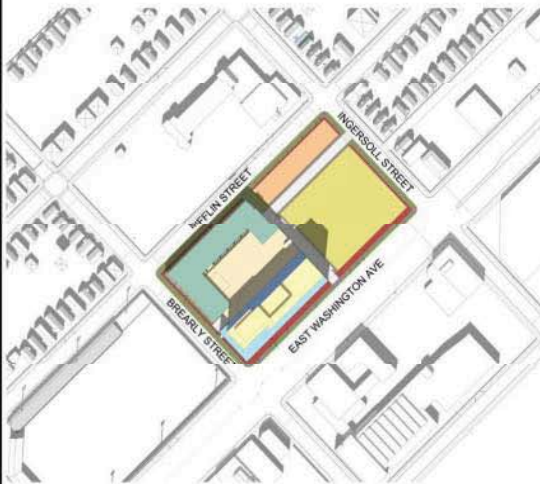
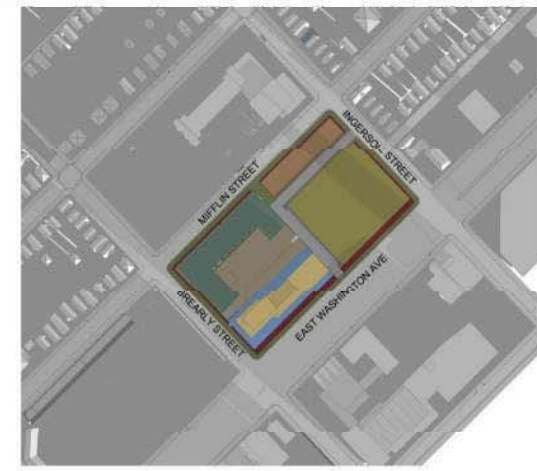
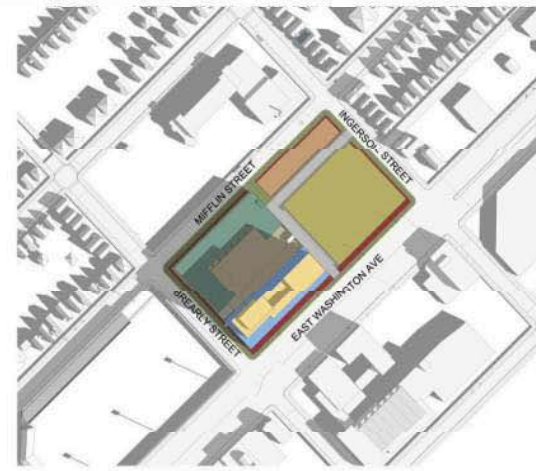
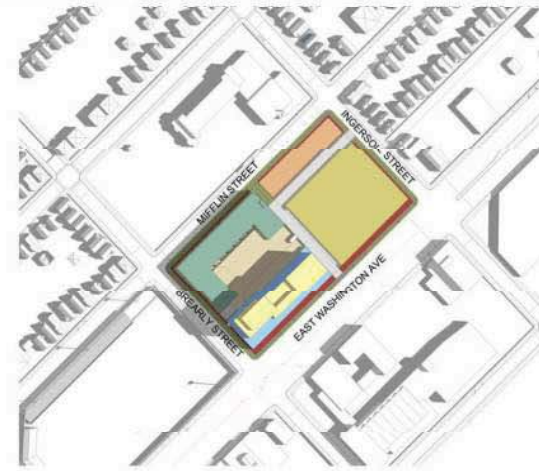
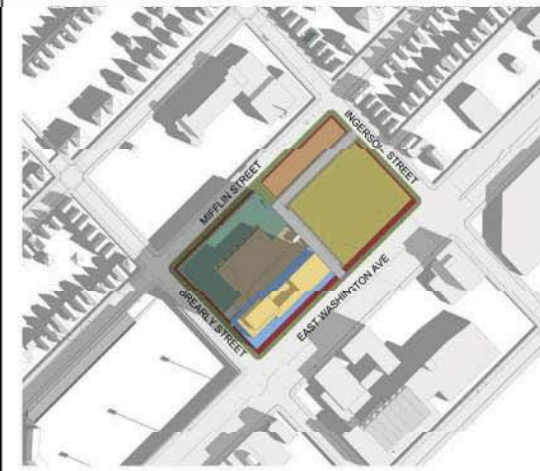
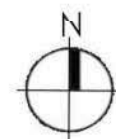
SEPTEMBER 22

DECEMBER 22

8AM

NOON

4PM



PROJECT INFORMATION

**STONE HOUSE
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ISSUANCE AND REVISIONS

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

SUN STUDY

A21



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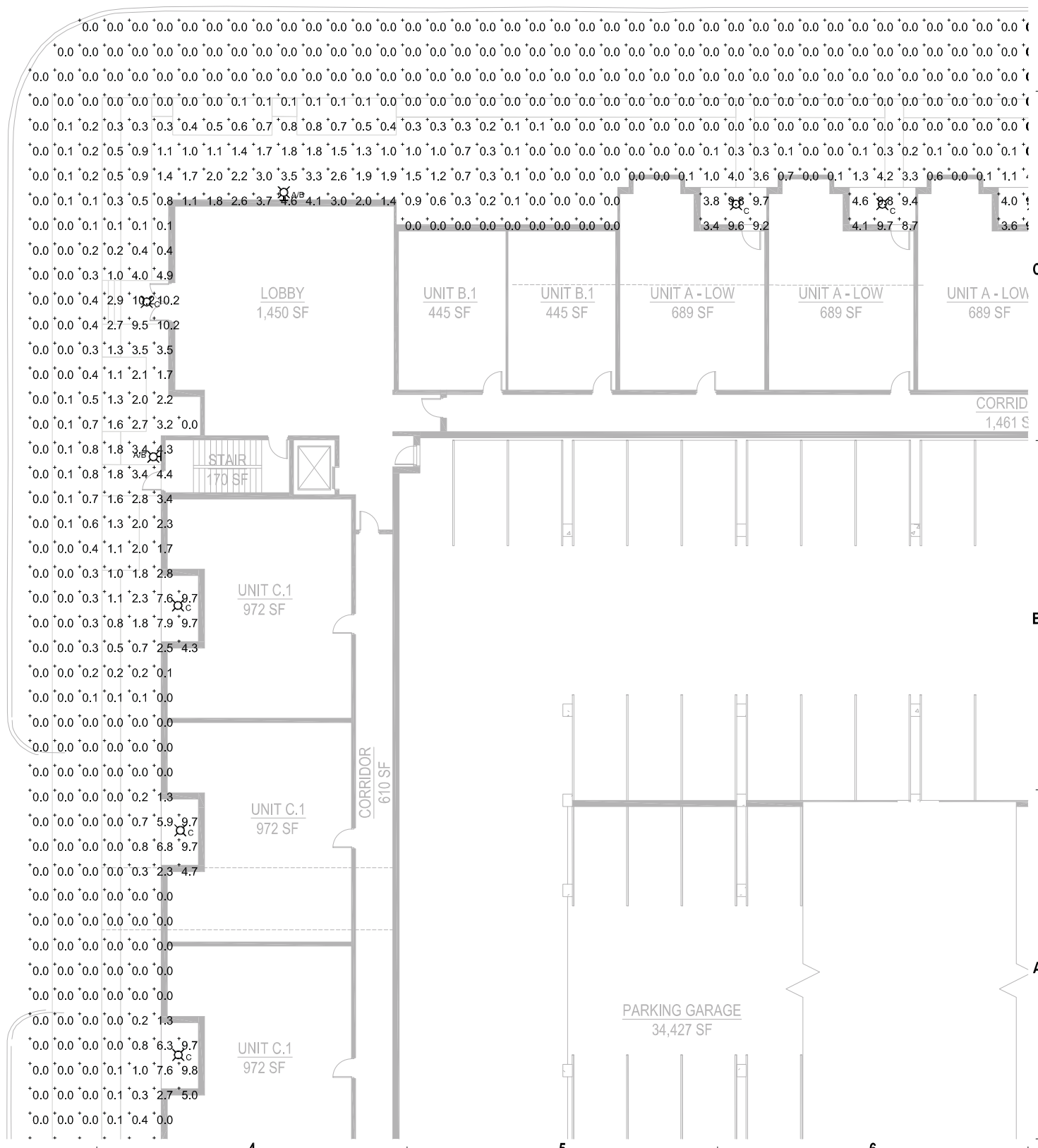
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Milwaukee, Wisconsin 53202
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madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
telephone 608.442.5350

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3lc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2lc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3lc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

1
E01 SCALE: 1/8"=1'-0"

LEVEL 01
PHOTOMETRIC PLAN - AREA A



PROJECT INFORMATION

STONE HOUSE
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PROJECT MANAGER	JDR
PROJECT NUMBER	14339-01
DATE	10/21/2015

LEVEL 01
PHOTOMETRIC PLAN -
AREA A

E01

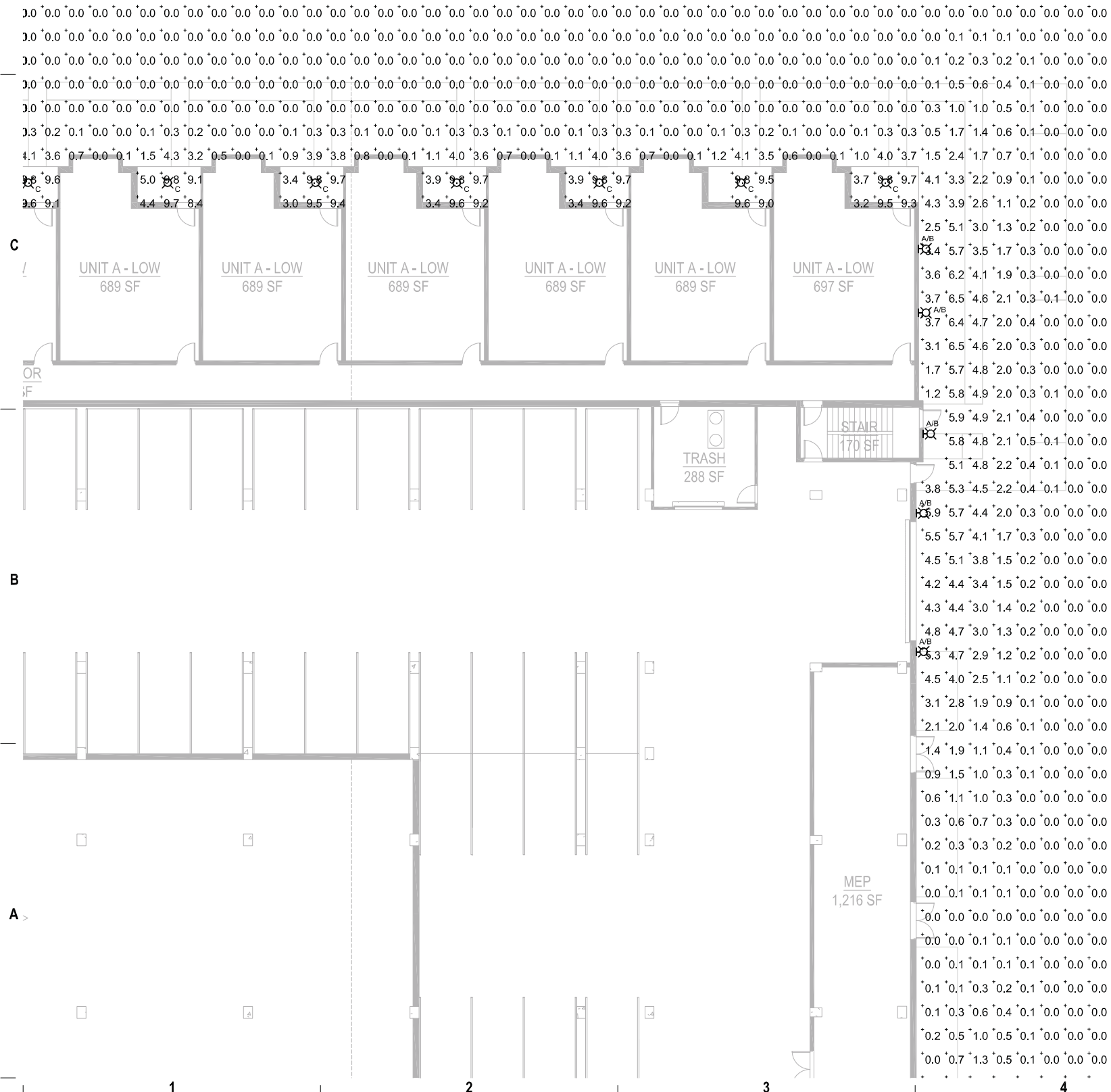


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CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVGMIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

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TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
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C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723



1
E02
LEVEL 01
PHOTOMETRIC PLAN - AREA B
SCALE: 1"=10'-0"

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LEVEL 01
PHOTOMETRIC PLAN -
AREA B

E02



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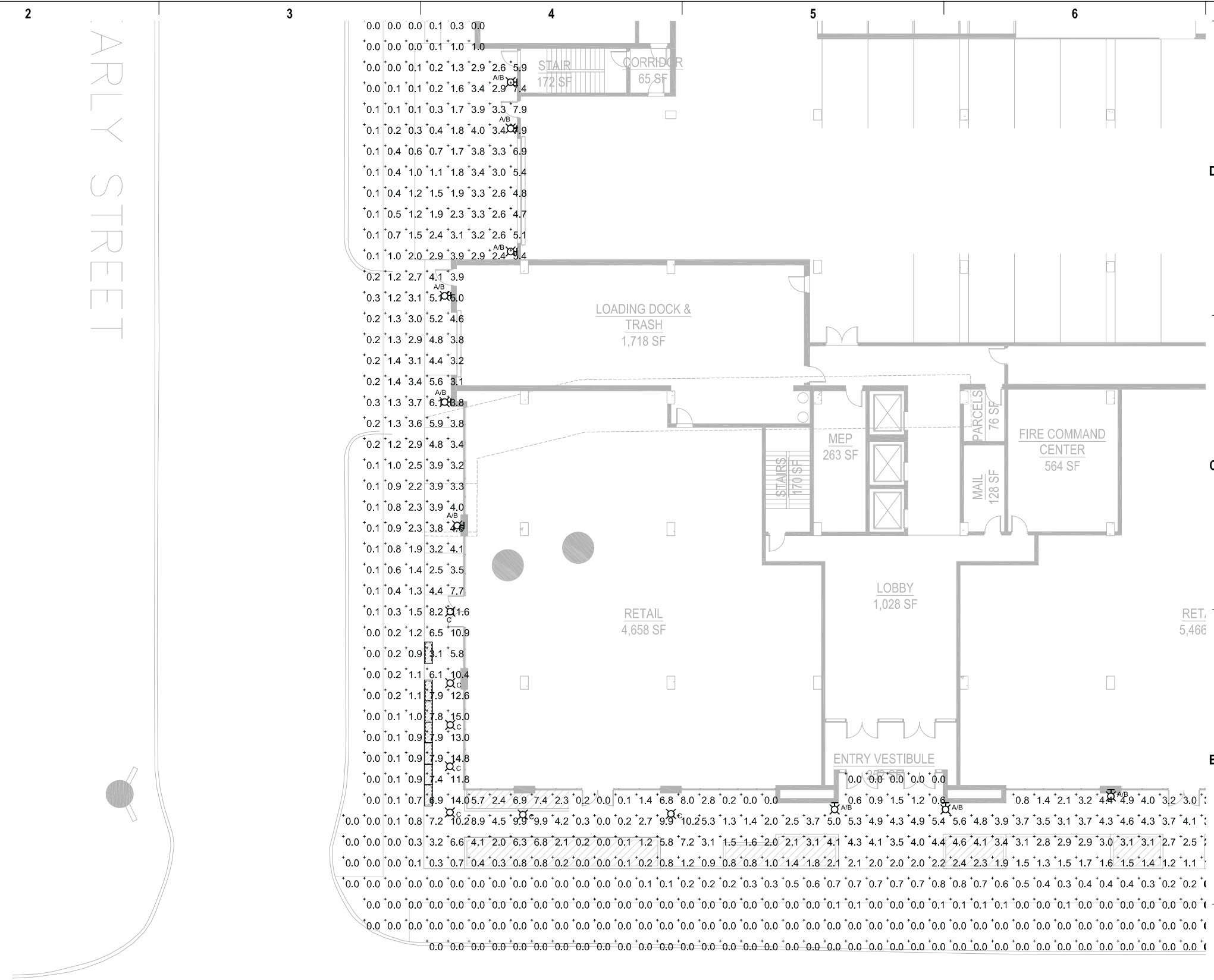
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 01
PHOTOMETRIC PLAN -
AREA C

E03



1
E03
LEVEL 01
PHOTOMETRIC PLAN - AREA C
SCALE: 1/8"=1'-0"

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

D

C

B

A

D

C

B

A

1

2

3

4

5

6

1

2

3

4

5

6

EARLY STREET



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PROJECT INFORMATION

STONE HOUSE
MIXED USE EAST
WASHINGTON

1000 E.
WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and Intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

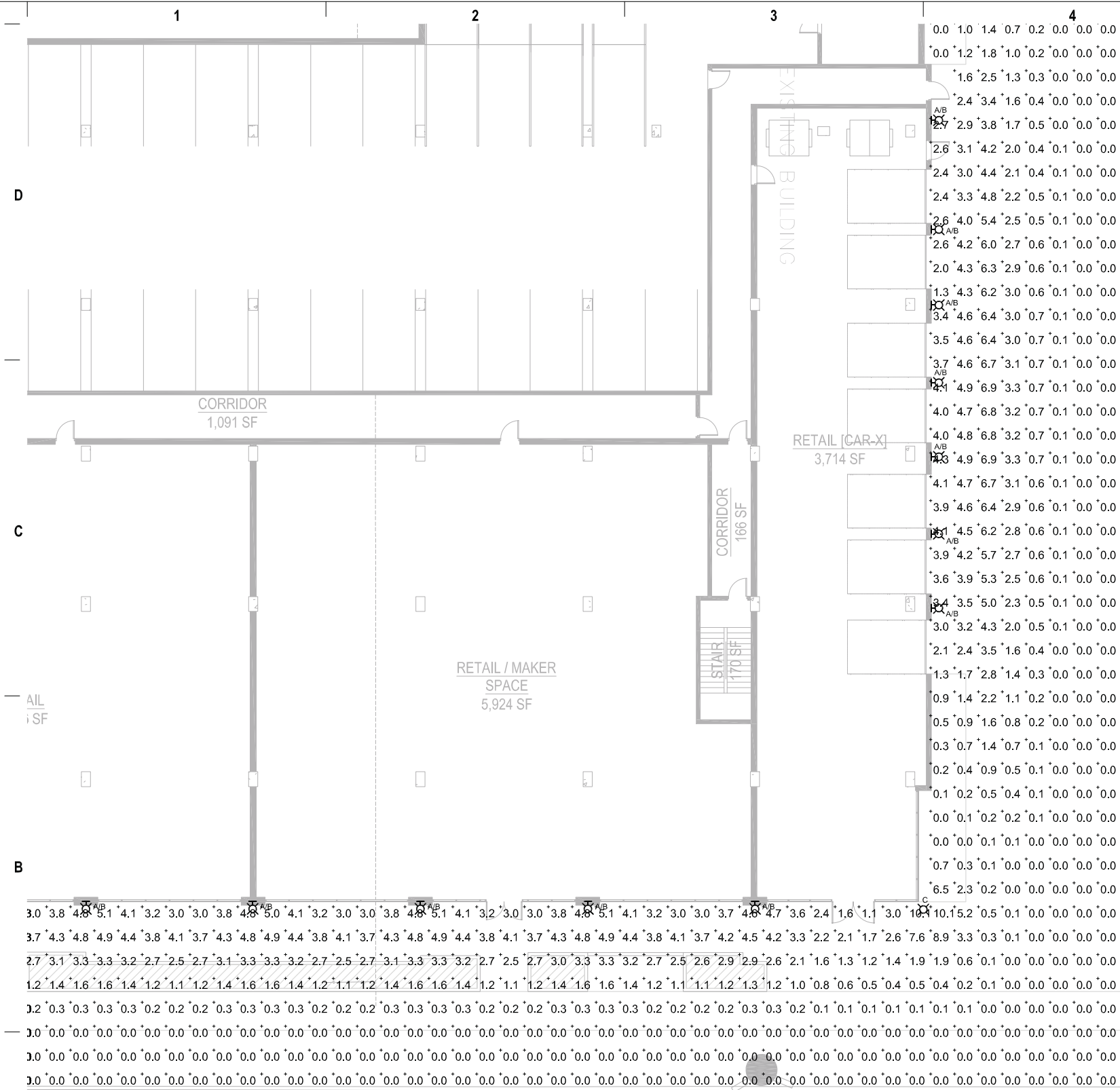
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 01
PHOTOMETRIC PLAN -
AREA D

E04



LEVEL 01
PHOTOMETRIC PLAN - AREA D
SCALE: 1"=10'-0"

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LED-B1-4000-T5X-18	723



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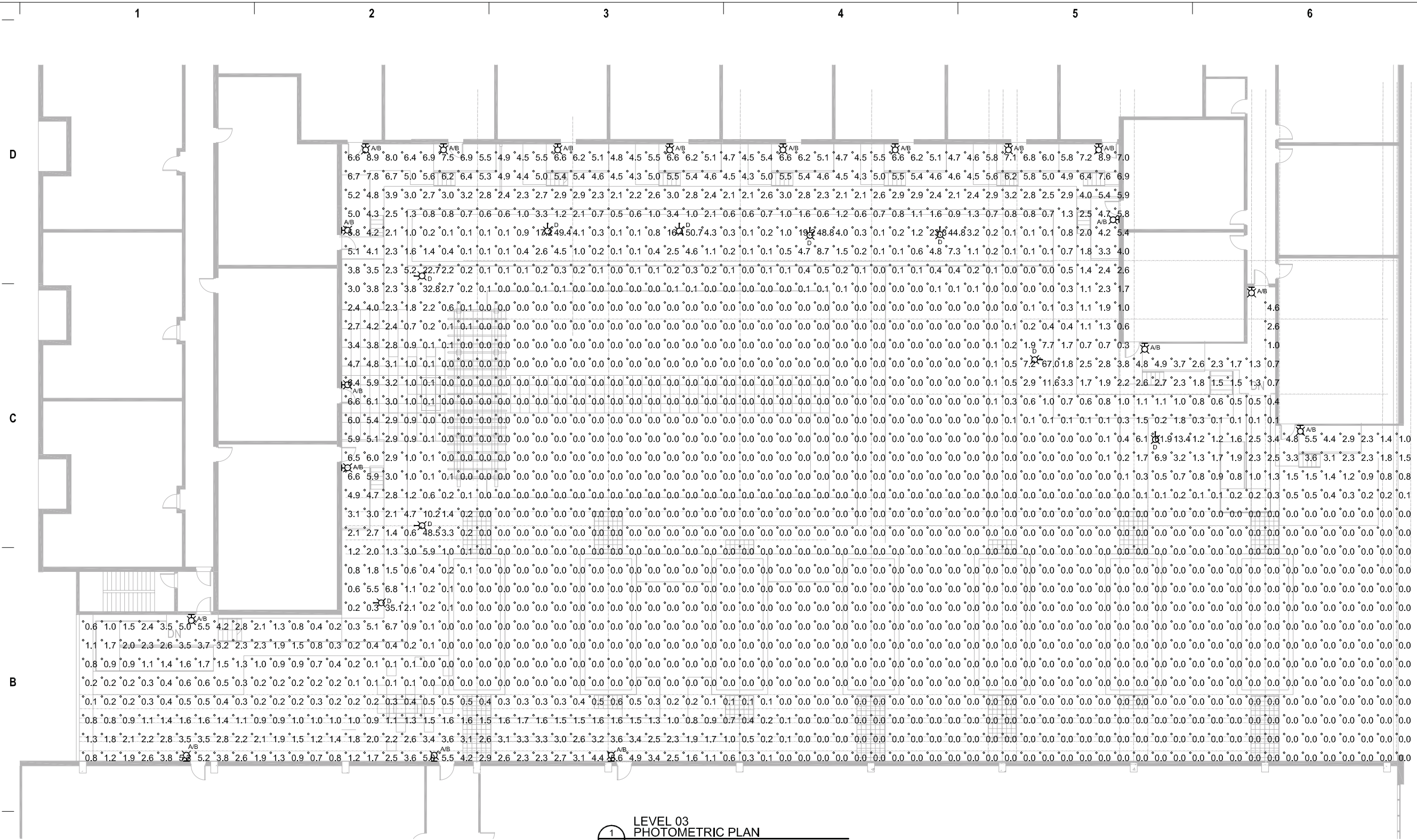
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 10/21/2015


LEVEL 03
PHOTOMETRIC PLAN

E05



CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LED-B1-4000-T5X-18	723



CSXW LED Wall Luminaire

Introduction
The CSXW Series luminaire offers traditional square fixtures with softened edges for a versatile look that complements many applications. The CSXW LED combines the latest in LED technology with the familiar aesthetic of the CSXW Series for solid, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Specifications
Height: 7-1/8" (183mm)
Depth: 6-5/8" (168mm)
Weight: 30 lbs (13.6kg)


Ordering Information
EXAMPLE: CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX

CSXW.ED	Color	Temp	Beam	Output	Temp	Mount	Options	Notes
30C	3000K	30°	700lm	40K	T3M	Standard		

Mounting Details
Includes diagrams for mounting and electrical connections.

Notes
1. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.
2. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.
3. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.
4. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.
5. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.
6. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.
7. CSXW.ED is a recessed fixture and requires a recessed ceiling. See CSXW.ED.30C.700.40K.T3M.MVOLT.DDBX for details.

LITHONIA LIGHTING
One Lithonia Way • Smyrna, Georgia 30082 • Phone 800.279.2611 • Fax 770.916.2877 • www.lithonia.com



6" Evo® Downlight

Introduction
The 6" Evo® Downlight is a solid-state lighting fixture that provides a clean, modern look. It is ideal for replacing 100-400W metal halide in ceiling-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Specifications
Height: 6" (152mm)
Depth: 6" (152mm)
Weight: 30 lbs (13.6kg)

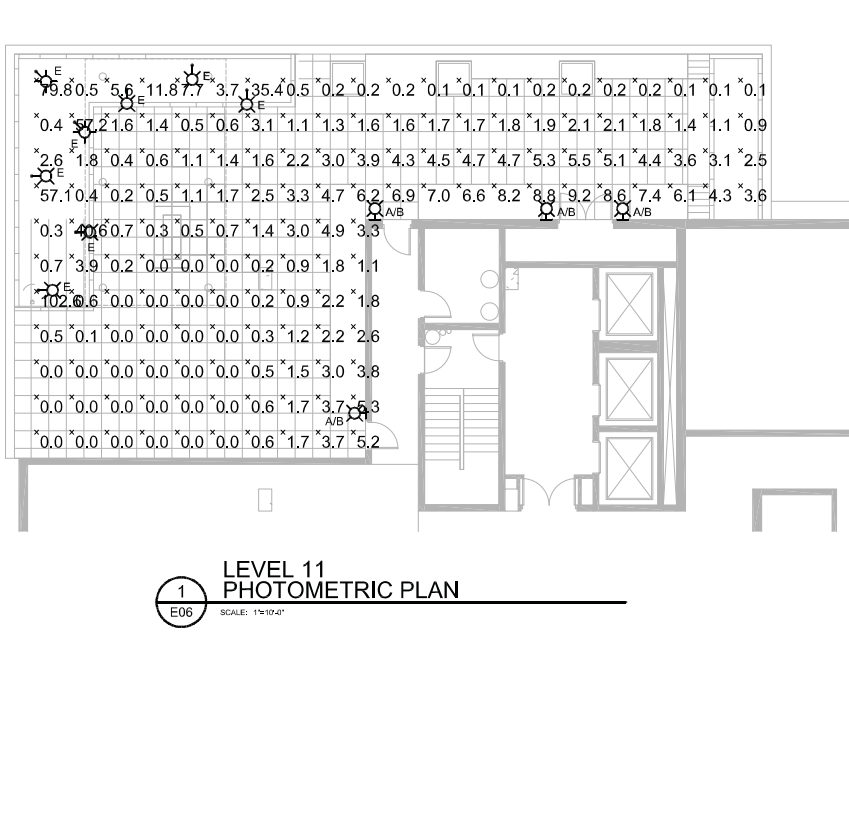
Ordering Information
EXAMPLE: 6" Evo® Downlight

6" Evo®	Color	Temp	Beam	Output	Temp	Mount	Options	Notes
6"	3000K	30°	700lm	40K	Standard	Standard		

Mounting Details
Includes diagrams for mounting and electrical connections.

Notes
1. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.
2. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.
3. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.
4. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.
5. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.
6. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.
7. 6" Evo® is a recessed fixture and requires a recessed ceiling. See 6" Evo® for details.

GOTHAM LIGHTING
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PROJECT INFORMATION


STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION



LUMIERE 303-B1-LED1 EON LED

DESCRIPTION
The 303-B1-LED1 is a compact, low profile, dimmable, LED luminaire that provides directional lighting. It is ideal for replacing 100-400W metal halide in ceiling-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Specifications
Height: 3-1/2" (89mm)
Depth: 3-1/2" (89mm)
Weight: 30 lbs (13.6kg)


Ordering Information
EXAMPLE: 303-B1-LED1

303-B1-LED1	Color	Temp	Beam	Output	Temp	Mount	Options	Notes
303-B1-LED1	3000K	30°	700lm	40K	Standard	Standard		

Mounting Details
Includes diagrams for mounting and electrical connections.

Notes
1. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.
2. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.
3. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.
4. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.
5. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.
6. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.
7. 303-B1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-B1-LED1 for details.

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LUMIERE 303-P1-LED1 EON LED

DESCRIPTION
The 303-P1-LED1 is a compact, low profile, dimmable, LED luminaire that provides directional lighting. It is ideal for replacing 100-400W metal halide in ceiling-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Specifications
Height: 3-1/2" (89mm)
Depth: 3-1/2" (89mm)
Weight: 30 lbs (13.6kg)

Ordering Information
EXAMPLE: 303-P1-LED1

303-P1-LED1	Color	Temp	Beam	Output	Temp	Mount	Options	Notes
303-P1-LED1	3000K	30°	700lm	40K	Standard	Standard		

Mounting Details
Includes diagrams for mounting and electrical connections.

Notes
1. 303-P1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-P1-LED1 for details.
2. 303-P1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-P1-LED1 for details.
3. 303-P1-LED1 is a recessed fixture and requires a recessed ceiling. See 303-P1-LED1 for details.
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LEVEL 01	1.3c	15.0c	0.0c	N/A	N/A
LEVEL 03	1.2c	67.0c	0.0c	N/A	N/A
LEVEL 11	4.3c	102.6c	0.0c	N/A	N/A

LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D	LUMIERE	303-B1-LED2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

LEVEL 11 PHOTOMETRIC PLAN

E06

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